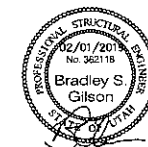


# COTTONWOOD HEIGHTS

**MOUNTVIEW PARK RESTROOM EXPANSION  
& PAVILION PROJECT  
CHC.302.18  
FEBRUARY, 2019**

**1651 EAST FORT UNION BLVD.  
LOCATED IN THE CITY OF COTTONWOOD HEIGHTS, UTAH**



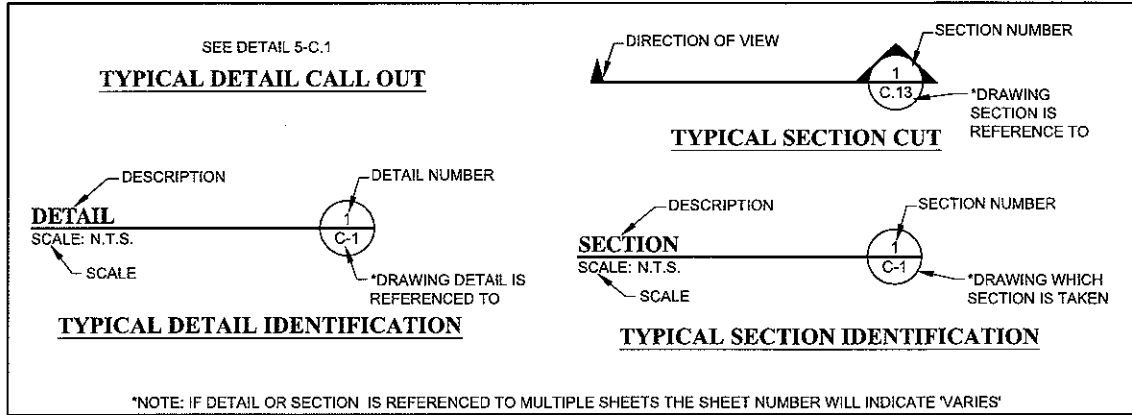
**MOUNTVIEW PARK RESTROOM EXPANSION - COTTONWOOD HEIGHTS**

CHC.302.18

**ABBREVIATIONS**

ADJ	ADJUST
ADS	ADVANCE DRAINAGE SYSTEM
ARV	AIR RELEASE VALVE
BC	BAR AND CAP
BOW	BACK OF WALK
BVCE	BEGINNING VERTICAL CURVE ELEV.
BVCS	BEGINNING VERTICAL CURVE STATION
CB	CATCH BASIN
CBL	CABLE
CH	CHORD BEARING
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC	CONCRETE
COR.	SECTION CORNER
D	DELTA ANGLE
DET	DETAIL
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWG	DRAWING
EG	EXISTING GRADE
ELEV	ELEVATION
EOC	EDGE OF CONCRETE
EP	EDGE OF PAVEMENT
EVCE	END VERTICAL CURVE ELEV.
EVCS	END VERTICAL CURVE STATION
EW	EACH WAY
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FO	FIBER OPTICS
FT	FOOT
GB	GRADE BREAK
HC	HANDICAP
HDPE	HIGH DENSITY POLY ETHYLENE
HP	HIGH POINT
INV.	INVERT
IRR	IRRIGATION
L.F.	LINEAR FEET
LIP	LIP OF CURB
LP	LOW POINT
LT.	LEFT
MAX.	MAXIMUM
MH	MANHOLE
MIN.	MINIMUM
MON	MONUMENT
NTS	NOT TO SCALE
OC	ON CENTER
OHP	OVER HEAD POWER
PC	POINT OF CURVE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVE
PRV	PRESSURE REDUCING VALVE
PT	POINT OF TANGENCY
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
ROW	RIGHT OF WAY
RT.	RIGHT
S	SEWER
SD	STORM DRAIN
SER	SOUTH END RADIUS
SSMH	SEWER MANHOLE
STA	STATION
STD	STANDARD
SW	SECONDARY WATER
TBC	TOP BACK OF CURB
TOA	TOP OF ASPHALT
TOE	TOE OF SLOPE
TOP	TOP OF SLOPE
TOW	TOP OF WALL
TYP	TYPICAL
UG	UNDER GROUND POWER
VPC	VERTICAL POINT OF CURVE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
W	WATER
WM	WATER METER
WV	WATER VALVE

**IDENTIFICATION SYSTEM**



**LEGEND AND SYMBOLS**

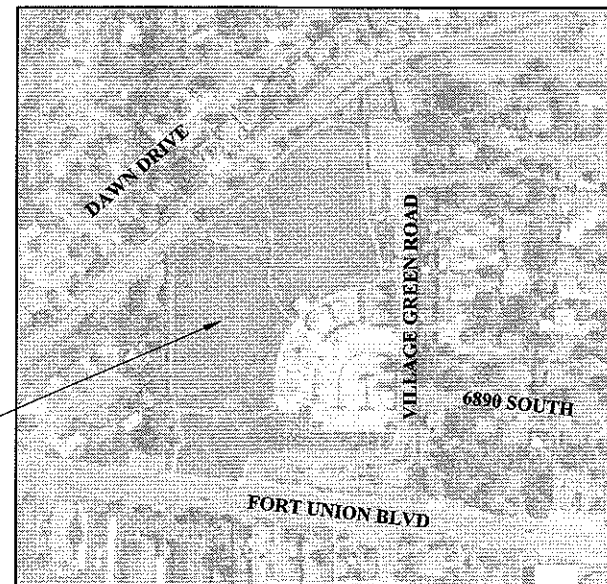
SECTION CORNER & LINE (FOUND)	CULINARY WATER LINE & MANHOLE	CABLE BOX
BOUNDARY/PHASE LINE	WATER VALVE	CABLE TELEVISION LINE & MANHOLE
ADJACENT PL or LOT LINES	= PROPOSED FIRE HYDRANT	FIBER OPTIC LINE & MARKER
RIGHT-OF-WAY LINE	WATER METER	STREET LIGHT
CENTERLINE OF ROAD	SECONDARY WATER & STOP AND WASTE	STREET SIGN
EASEMENT LINE	IRRIGATION BOX	TEST PIT
CURB & GUTTER	IRRIGATION VALVE	WELL
= EDGE OF ASPHALT	POWER LINES & MANHOLE	MAIL BOX
FENCE	ELECTRIC METER	SEWER TAG
DAYLIGHT- CUT	UTIL-POLE	SD-TAG
DAYLIGHT- FILL	ELECTRIC BOX	SPOT ELEVATION
PROPOSED INTERMEDIATE CONTOUR	POWERPOLE	= PROPOSED ASPHALT
PROPOSED INDEX CONTOUR	GUY WIRE	= PROPOSED CONCRETE
EXISTING INDEX CONTOUR	TRAFFIC CONTROL BOX	EXISTING ELEVATION
EXISTING INTERMEDIATE CONTOUR	TRAFFIC SIGNAL	PROPOSED ELEVATION
DRAINAGE / DITCH CENTERLINE	GAS LINE & MANHOLE	
RIGHT OF WAY	GAS-VALVE	
SANITARY SEWER MANHOLE & PIPE	TELEPHONE LINE & MANHOLE	
STORM DRAIN CLEAN OUT & PIPE	TELEPHONE POLE	
CATCH BASIN	TELEPHONE RISER	
4' COMBO BOX	TELEPHONE BOX	
4' INLET		

\*NOTE: ALL EXISTING FEATURES WILL BE IN A SHADED LINE

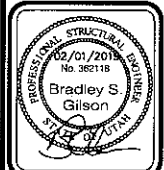
**SHEET INDEX**

COVER SHEET
G.101 INDEX AND LEGEND
G.102 GENERAL NOTES
RESTROOM EXPANSION
C.101 SITE PLAN
S.101 FLOOR PLAN & ELEVATIONS
S.102 EXTERIOR ELEVATIONS
S.103 MECHANICAL FOUNDATION & ROOF PLAN
S.104 RESTROOM DETAILS
E.101 ELECTRICAL PLAN
PAVILION PROJECT
PC.101 PAVILION SITE PLAN
PC.102 ENLARGED PAVILION
PS.101 STRUCTURAL PAVILION ELEVATIONS
PS.102 STRUCTURAL DETAILS

**LOCATION MAP**



PROJECT LOCATION



REVISION	DATE	BY	COMMENTS

DATE: FEBRUARY 2019
DRAWING NAME: INDEX & LEGEND
DESIGNED BY: AG
CHECKED: AG
APPROVED: AG

**INDEX & LEGEND**

MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

**GENERAL NOTES**

1. THIS DESIGN IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED AND/OR USED WITHOUT THE WRITTEN CONSENT OF GILSON ENGINEERING, INC.
2. THESE SHEETS - LISTED BY DRAWING INDEX, ALL ACCOMPANYING SPECIFICATIONS FOR MATERIALS, WORKMANSHIP QUALITY, AND NOTES HAVE BEEN PREPARED SOLELY FOR THE CONSTRUCTION AND FINISH OF PROJECT IMPROVEMENTS, COMPLETE AND READY FOR USE.
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH PERTINENT JURISDICTIONAL CODES, RESTRICTIONS, COVENANTS, AND/OR ORDINANCES. ANY CONFLICT BETWEEN DESIGN AND REQUIREMENT SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. FAILURE TO DO SO VOIDS THE DESIGN.
4. ANY AND ALL PROPOSED CHANGE, MODIFICATIONS AND/OR SUBSTITUTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. BEFORE PROCEEDING. ANY DEVIATION FROM THE CONTRACT DOCUMENTS, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF GILSON ENGINEERING, INC. VOIDS THE DESIGN.
5. IN THE EVENT OF CONFLICT BETWEEN THE DESIGN DOCUMENTS AND/OR JURISDICTIONAL REQUIREMENTS, THE MORE RESTRICTIVE FROM THE STANDPOINT OF SAFETY AND PHYSICAL SECURITY SHALL APPLY.
6. ANY INSTALLATION OR WORK NECESSARY TO THE FUNCTIONING, SAFETY AND/OR PHYSICAL SECURITY OF DESIGN THAT IS TO BE ENCAPSULATED OR OTHERWISE PERMANENTLY OBSCURED FROM INSPECTION SHALL BE REPORTED TO GILSON ENGINEERING, INC. A MINIMUM OF TWO (2) WORKING DAYS BEFORE ENCLOSURE.
7. DESIGN IS GENERALLY PREDICATED UPON PROVISIONS OF THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND/OR AMENDMENTS AS MAY HAVE BEEN LOCALLY ENACTED. THIS DESIGN AND ANY CONSEQUENT CONSTRUCTION SHALL ACCOMMODATE ALL REQUIREMENTS OF THE JURISDICTIONAL FIRE SAFETY/PREVENTION DISTRICT.
8. ANY DAMAGE, DISRUPTION OR COMPROMISE OF AMBIENT RIGHTS-OF-WAY, UTILITIES, OR ENVIRONMENTAL QUALITY SHALL BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF GILSON ENGINEERING, INC. AT NO COST TO THE OWNER.
9. THIS DESIGN PURPORTS TO PERMIT FULL ACCESS TO HANDICAPPED PERSONS AS PROVIDED FOR BY PROVISIONS OF FEDERAL LAW. ANY DEVIATION OR COMPROMISE SHALL BE REPORTED TO GILSON ENGINEERING, INC. FOR RESOLUTION.
10. ALL WORK SHALL BE INSPECTED BY GOVERNING AGENCIES IN ACCORDANCE WITH THEIR REQUIREMENTS. JURISDICTIONAL APPROVAL SHALL BE SECURED BEFORE PROCEEDING WITH WORK

**UTILITY NOTES**

1. COORDINATE ALL UTILITY CONNECTIONS TO BUILDING WITH PLUMBING PLANS AND BUILDING CONTRACTOR.
2. VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTING ANY NEW UTILITY LINES. NOTIFY CIVIL ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY CONNECTIONS BEING MADE.
3. WATER METERS ARE TO BE INSTALLED PER CURRENT WATER DISTRICT STANDARDS AND SPECIFICATIONS. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL ALL ITEMS REQUIRED.
4. WATER LINES, VALVES, FIRE HYDRANTS, FITTINGS ETC. ARE TO BE CONSTRUCTED AS SHOWN. CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ANY VERTICAL ADJUSTMENTS NECESSARY TO CLEAR SEWER, STORM DRAIN OR OTHER UTILITIES AS NECESSARY INCLUDING VALVE BOXES AND HYDRANT SPOOLS TO PROPER GRADE.
5. FIELD VERIFY ALL EXISTING AND/OR PROPOSED ROOF DRAIN/ROOF DRAIN DOWN SPOUT CONNECTIONS TO STORM WATER SYSTEM WITH CIVIL, PLUMBING & ARCHITECTURAL PLANS, NOTIFY ENGINEER OF ANY DISCREPANCIES.
6. ALL CATCH BASINS AND INLET BOX GRATES ARE TO BE BICYCLE SAFE.

**EROSION CONTROL NOTES**

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL FACILITIES SHOWN ON THE PLAN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED. STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE.
3. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.
4. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE.
6. FUGITIVE DUST AREAS SHALL BE CONTROLLED BY SPRAYING WATER ON THE DRY AREAS OF THE SITE.
7. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
8. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES OR OTHER UNFORESEEN CONDITIONS DURING DEVELOPMENT OF THE PROJECT.

**CONSTRUCTION NOTES**

1. ALL WORK WITHIN THE SITE TO CONFORM TO THE CURRENT CITY STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL OF THE REQUIREMENTS ESTABLISHED FOR SAFE TRENCHING. (SEE OSHA AND UOSHA REQUIREMENTS, LATEST EDITIONS).
3. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE LAYING PIPE WITHIN 200 FEET OF SAID UTILITIES WHICH MAY BE EXPOSED, DAMAGED OR CROSSED AS SHOWN ON THE DRAWINGS OR AS "BLUE STAKED". THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE UTILITY COMPANY TO MOVE THE UTILITY IF NECESSARY OR OBTAIN PERMISSION FROM THE PROJECT ENGINEER TO MODIFY GRADES OF PROJECT LINES IN ORDER TO GO AROUND EXISTING UTILITIES.
4. SEWER MAINS, WATER MAINS, GAS MAINS AND OTHER UTILITIES ARE SHOWN ON THE PLANS IN A GENERAL SCHEMATIC WAY ACCORDING TO INFORMATION RECEIVED FROM OTHERS AND SOMETIMES FROM FIELD MEASUREMENTS. THE ACCURACY OR COMPLETENESS OF THE LOCATIONS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF EXISTING SERVICE CONNECTIONS AND UTILITIES, VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS AND TAKE THE NECESSARY STEPS TO AVOID THEM.
5. SPECIFIC INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS SHALL SUPERSEDE ITEMS COVERED IN THESE DRAWINGS.

**CALL BEFORE YOU DIG.  
IT'S FREE &  
IT'S THE LAW.**

(TOLL-FREE)  
**1-800-662-4111**  
**208-2100**  
(SALT LAKE METRO)

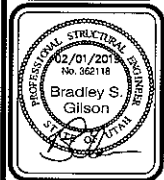
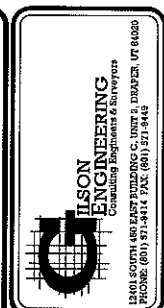
205 WEST 700 SOUTH, SUITE 101  
SALT LAKE CITY, UTAH 84101



**CAUTION NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS; AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



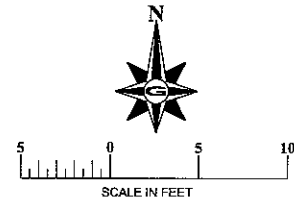
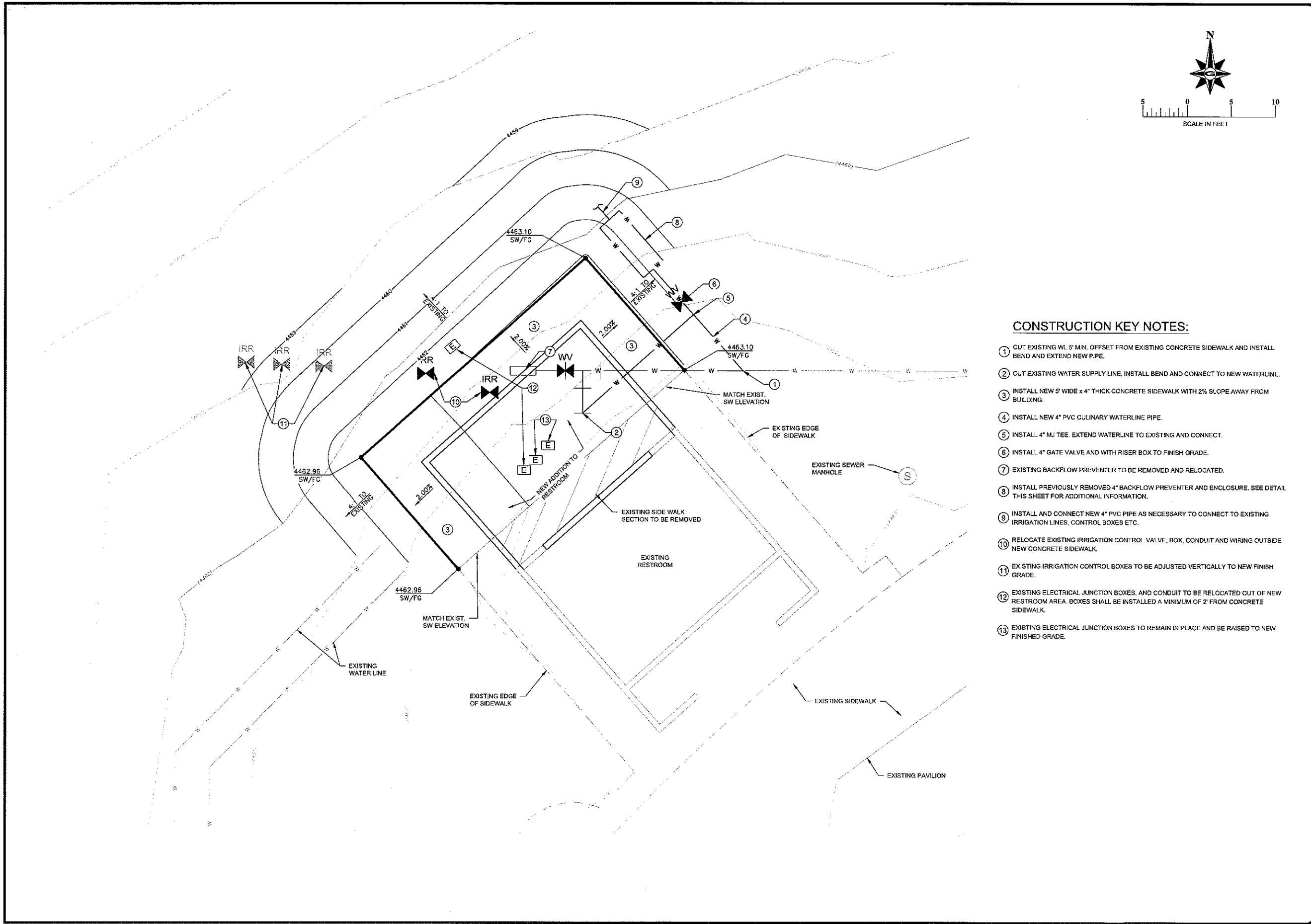
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DRAWING NAME:	REVISIONS
SCALE:	AS SHOWN
DESIGNED BY:	BY COMMENTS
CHECKED:	DATE
APPROVED:	BY

1" SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEET

DATE:	FEBRUARY 2019
DRAWING NAME:	REVISIONS
SCALE:	AS SHOWN
DESIGNED BY:	BY COMMENTS
CHECKED:	DATE
APPROVED:	BY

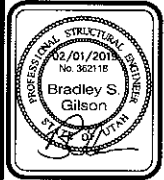
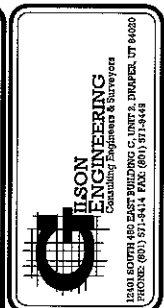
**GENERAL NOTES**  
MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

REVISION: **A**  
PROJ. # **CHC.302**  
**G.102**



**CONSTRUCTION KEY NOTES:**

- ① CUT EXISTING WL 5' MIN. OFFSET FROM EXISTING CONCRETE SIDEWALK AND INSTALL BEND AND EXTEND NEW PIPE.
- ② CUT EXISTING WATER SUPPLY LINE, INSTALL BEND AND CONNECT TO NEW WATERLINE.
- ③ INSTALL NEW 5' WIDE x 4" THICK CONCRETE SIDEWALK WITH 2% SLOPE AWAY FROM BUILDING.
- ④ INSTALL NEW 4" PVC CULINARY WATERLINE PIPE.
- ⑤ INSTALL 4" MJ TEE, EXTEND WATERLINE TO EXISTING AND CONNECT.
- ⑥ INSTALL 4" GATE VALVE AND WITH RISER BOX TO FINISH GRADE.
- ⑦ EXISTING BACKFLOW PREVENTER TO BE REMOVED AND RELOCATED.
- ⑧ INSTALL PREVIOUSLY REMOVED 4" BACKFLOW PREVENTER AND ENCLOSURE. SEE DETAIL THIS SHEET FOR ADDITIONAL INFORMATION.
- ⑨ INSTALL AND CONNECT NEW 4" PVC PIPE AS NECESSARY TO CONNECT TO EXISTING IRRIGATION LINES, CONTROL BOXES ETC.
- ⑩ RELOCATE EXISTING IRRIGATION CONTROL VALVE, BOX, CONDUIT AND WIRING OUTSIDE NEW CONCRETE SIDEWALK.
- ⑪ EXISTING IRRIGATION CONTROL BOXES TO BE ADJUSTED VERTICALLY TO NEW FINISH GRADE.
- ⑫ EXISTING ELECTRICAL JUNCTION BOXES, AND CONDUIT TO BE RELOCATED OUT OF NEW RESTROOM AREA. BOXES SHALL BE INSTALLED A MINIMUM OF 2' FROM CONCRETE SIDEWALK.
- ⑬ EXISTING ELECTRICAL JUNCTION BOXES TO REMAIN IN PLACE AND BE RAISED TO NEW FINISHED GRADE.

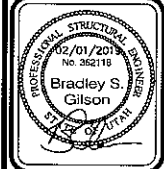
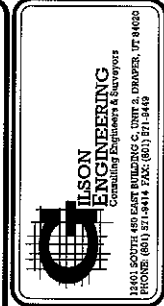
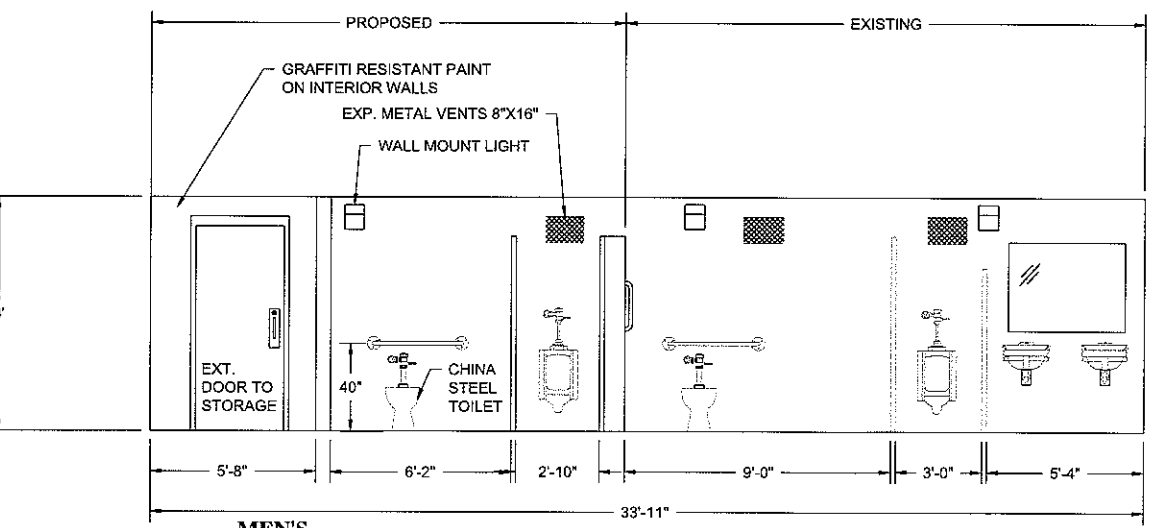
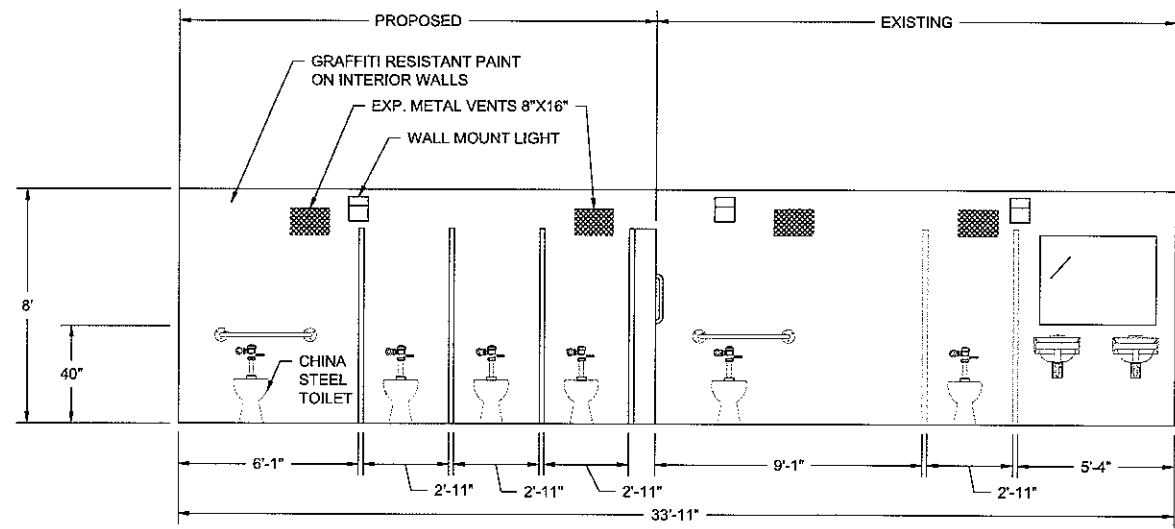
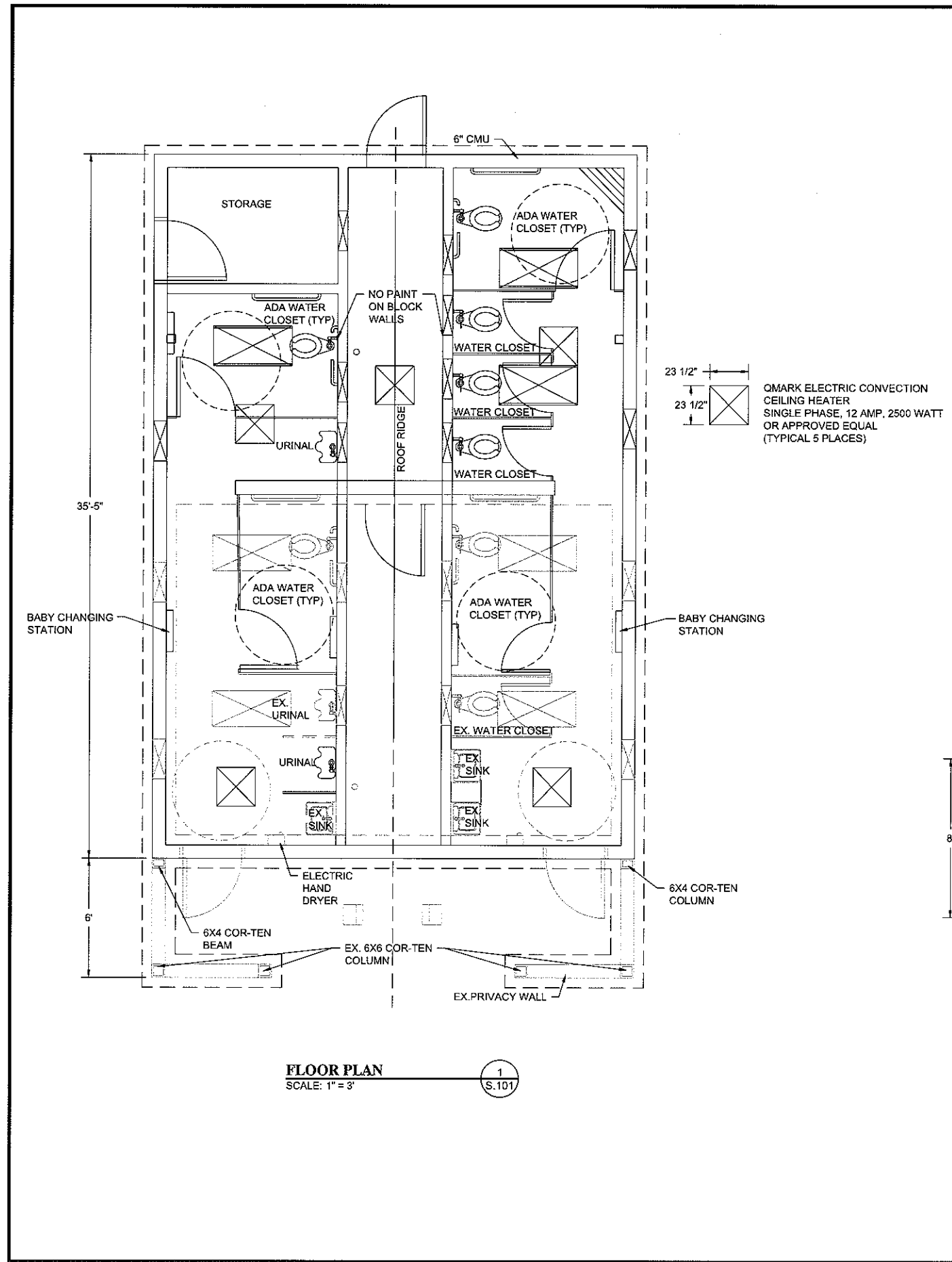


REV.	DATE	BY	COMMENTS
A	2-17-2019	BP	BID SET PLANS

DATE: FEBRUARY 2019	CHECKED: APPROVED:
DRAWING NAME: SITE PLAN	
DESIGNED/DRAWN BY: A.C.	

**SITE PLAN**  
 MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
 FORT UNION BLVD. & VILLAGE GREEN RD.  
 COTTONWOOD HEIGHTS, UTAH

REVISION **A**  
 PROJ. # **CHC.302**  
**C.101**

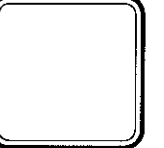
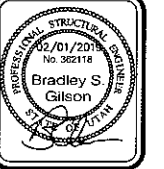
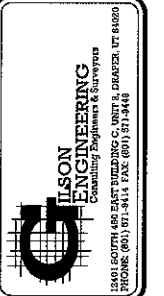
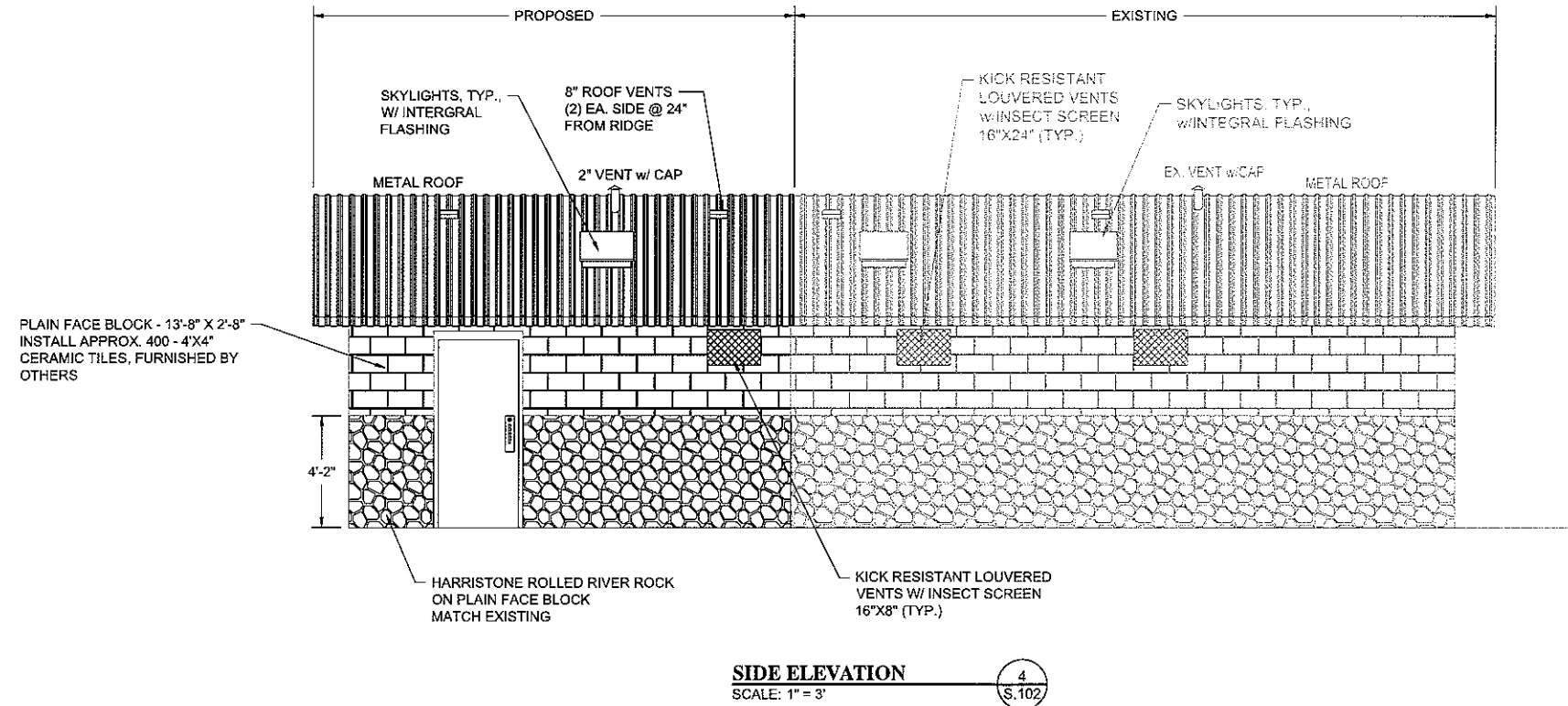
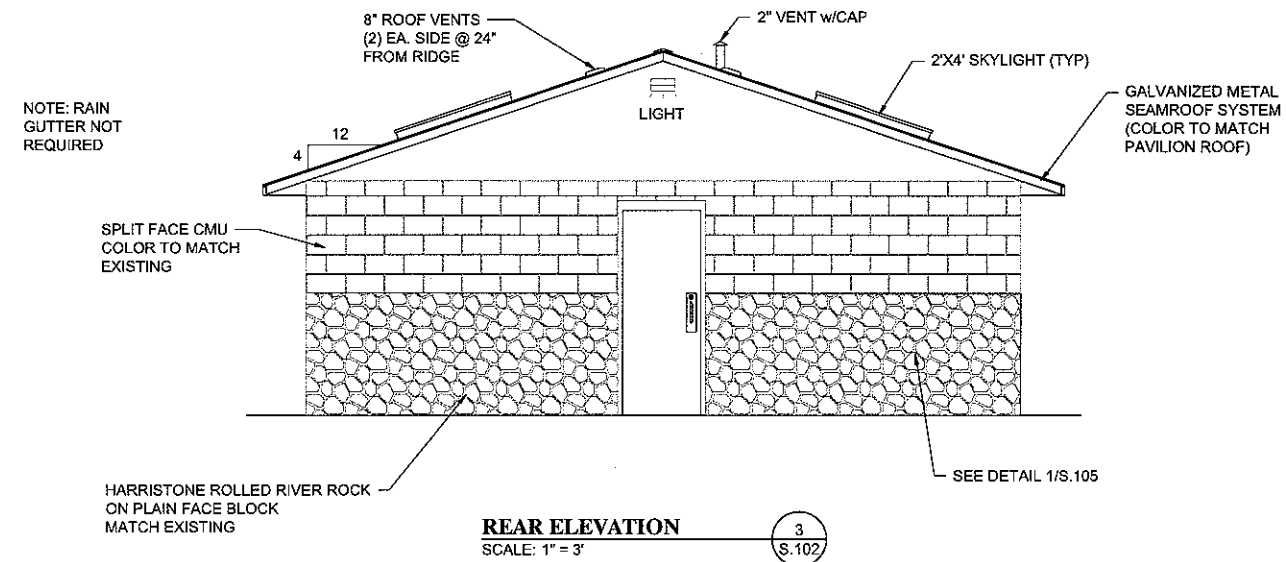


REVISION	DATE	BY	DESCRIPTION
A	2-01-2019	BP	REVISED PER COMMENTS

DATE: FEBRUARY 2019	DRAWING NAME: S.101	FLOOR PLAN & ELEVATION	PROPOSED BY: AGS	CHECKED: AGS	APPROVED:
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**FLOOR PLAN & ELEVATIONS**  
MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

REVISION: **A**  
PROJ.: **CHC.302**  
**S.101**



REV.	DATE	BY	COMMENTS
A	2-01-2019	BP	BID SET PLANS

DATE: FEBRUARY 2019  
DRAWING NO: S.102  
PROJECT: EXTERIOR ELEVATIONS  
DESIGNED BY: AG  
CHECKED: APPROVED:

SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEET

DATE: FEBRUARY 2019  
DRAWING NO: S.102  
PROJECT: EXTERIOR ELEVATIONS  
DESIGNED BY: AG  
CHECKED: APPROVED:

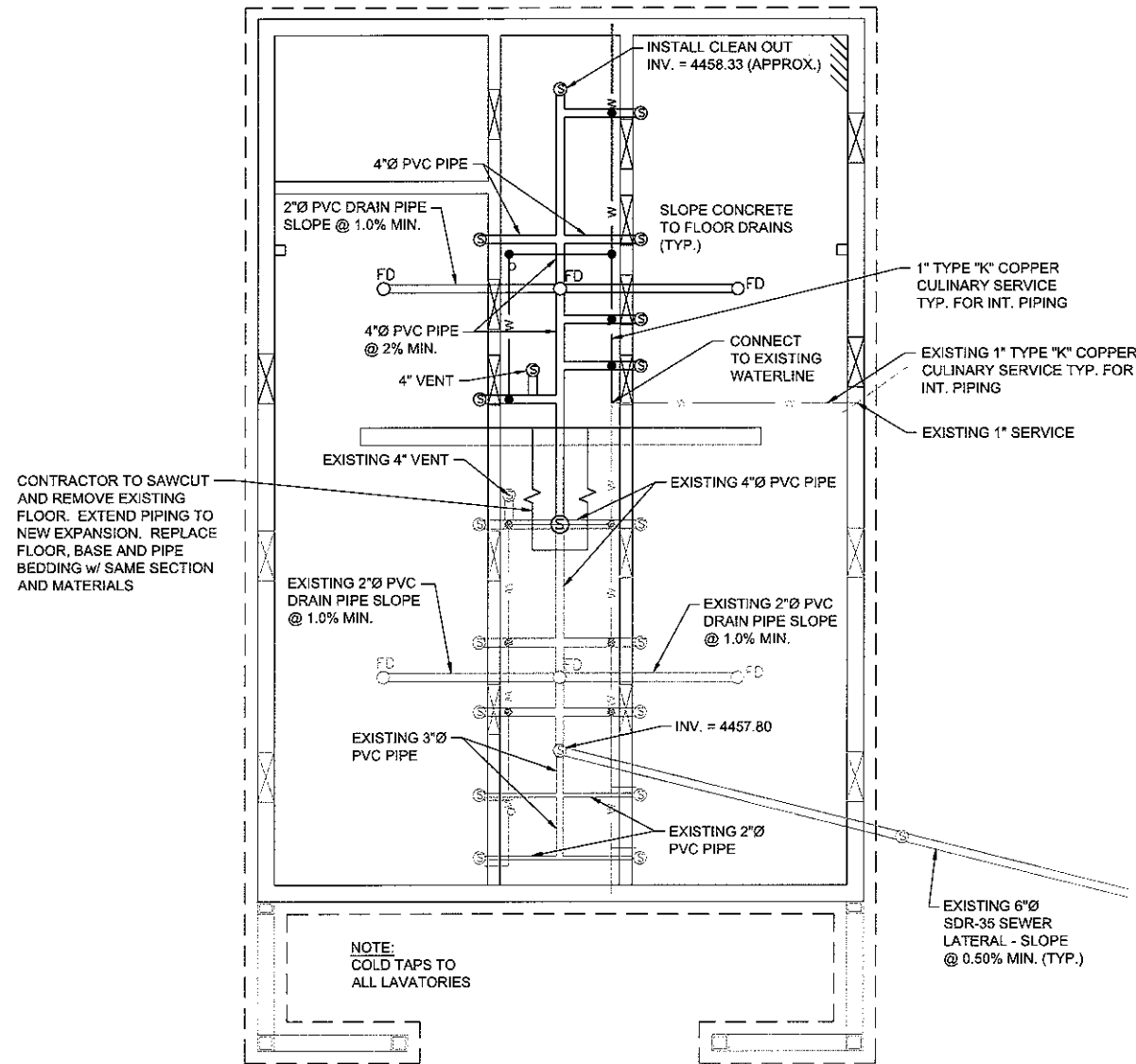
**EXTERIOR ELEVATIONS**  
MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

REVISION **A**  
PROJ. # **CHC.302**

**S.102**

**LEGEND**

- ⊙ SEWER STAND PIPE
- FD FLOOR DRAIN

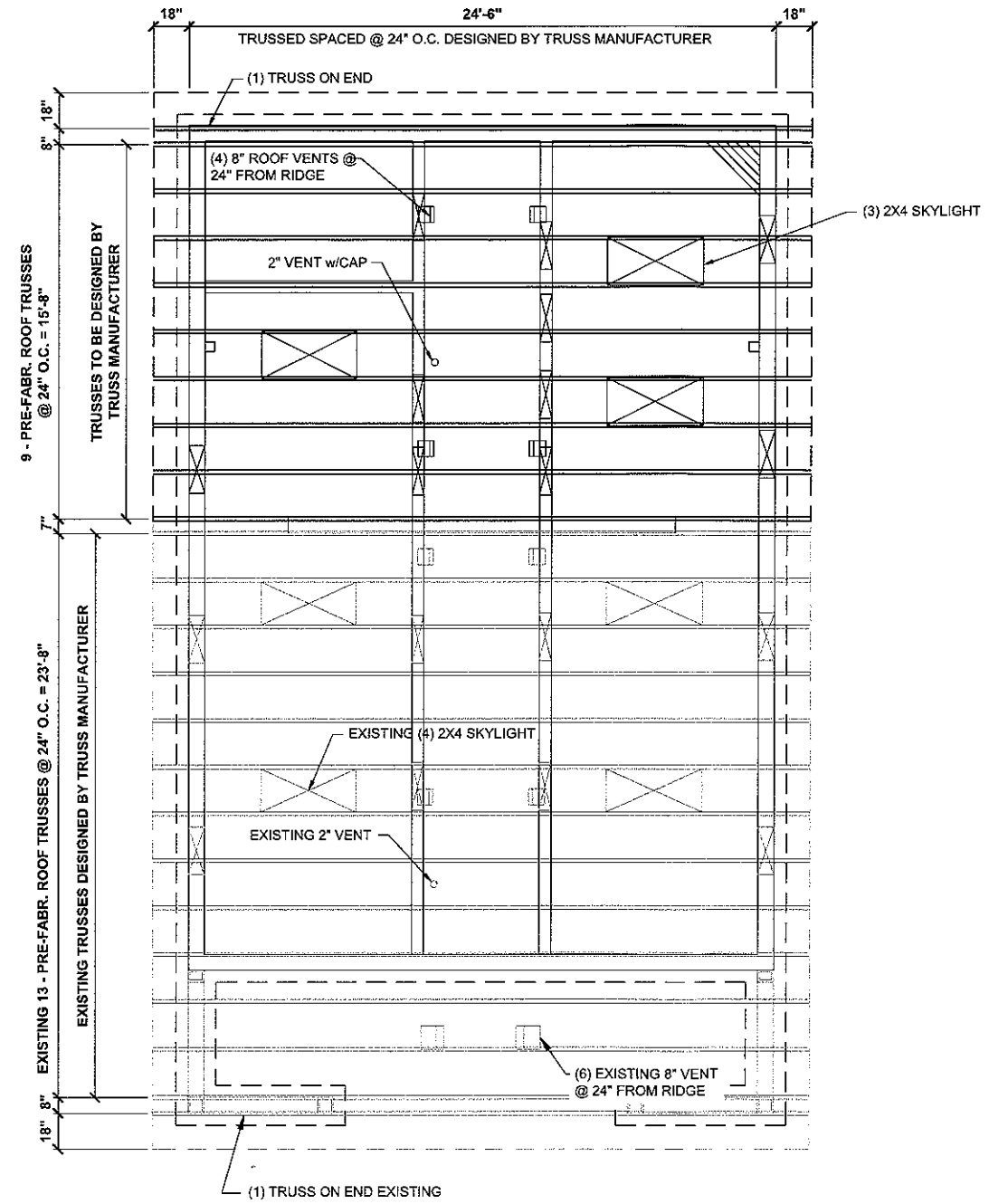


CONTRACTOR TO SAWCUT  
AND REMOVE EXISTING  
FLOOR. EXTEND PIPING TO  
NEW EXPANSION. REPLACE  
FLOOR, BASE AND PIPE  
BEDDING w/ SAME SECTION  
AND MATERIALS

- NOTES:
1. PROVIDE FITTING FOR WINTERIZING RESTROOM PLUMBING SYSTEM.
  2. INSTALL STOP & WASTE VALVE AT LOW POINT ON WATER SERVICE LINE.

**PLUMBING PLAN**  
SCALE: 1" = 40'

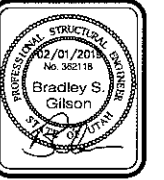
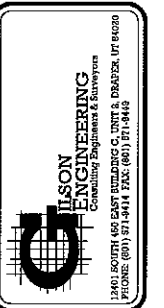
1  
S.103



- NOTES:
1. ALL CEILING MATERIAL TO BE 5/8" PLYWOOD, PAINTED & TEXTURED.
  2. CONSTRUCT ENCLOSURE FROM SKYLIGHT TO CEILING OPENING WITH 2X4 FRAMING AND 1/2" PLYWOOD WALLS, PAINTED INTERIORS.

**ROOF PLAN**  
SCALE: 1" = 40'

2  
S.103



REV.	DATE	BY	COMMENTS
A	2-01-2019	BP	BID SET PLANS

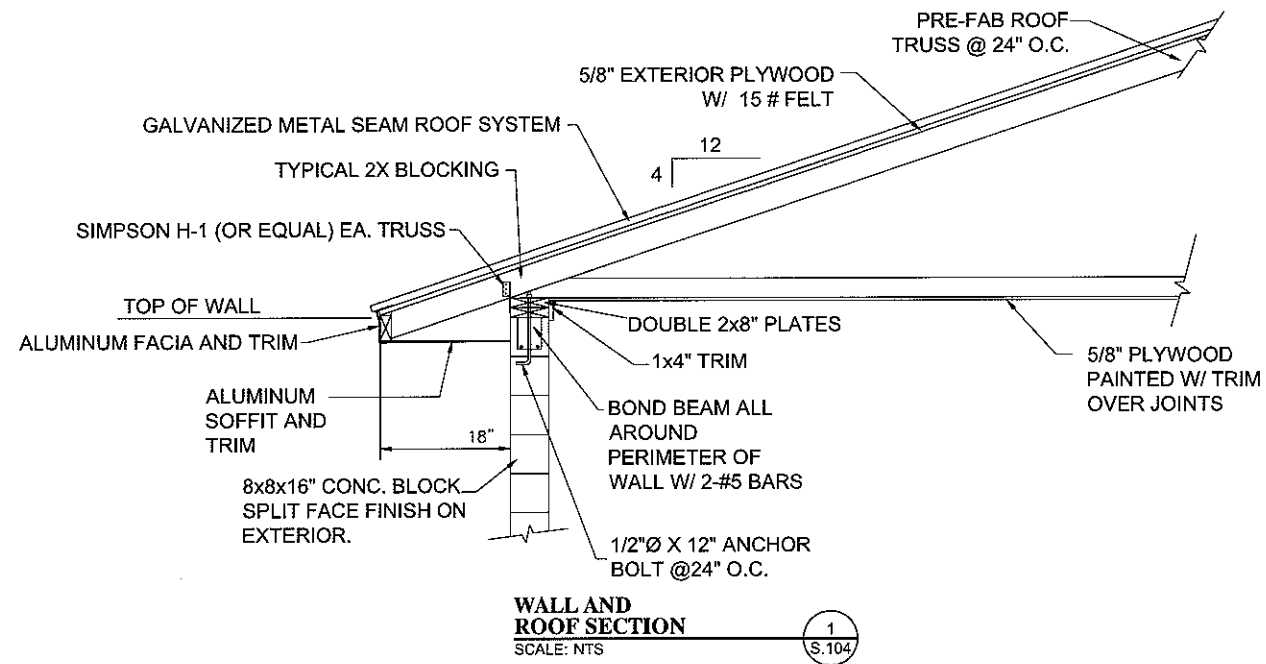
DATE	FEBRUARY 2019	REVISIONS	
DRAWING NAME	MECHANICAL, FOUNDATION & ROOF PLAN	CHECKED	
DRAWN BY	BRADLEY S. GILSON	APPROVED	
SCALE	AS SHOWN		

**MECHANICAL, FOUNDATION & ROOF PLAN**  
MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

REVISION: **A**

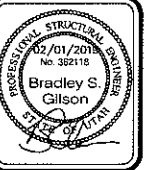
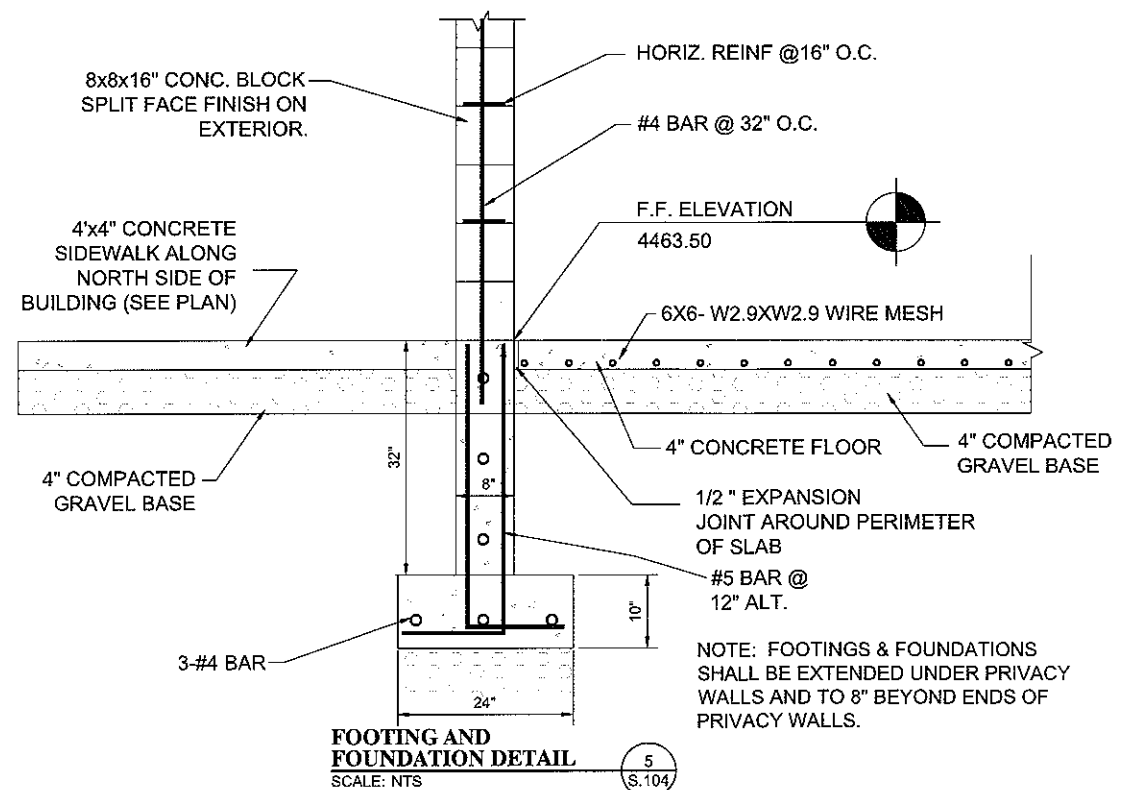
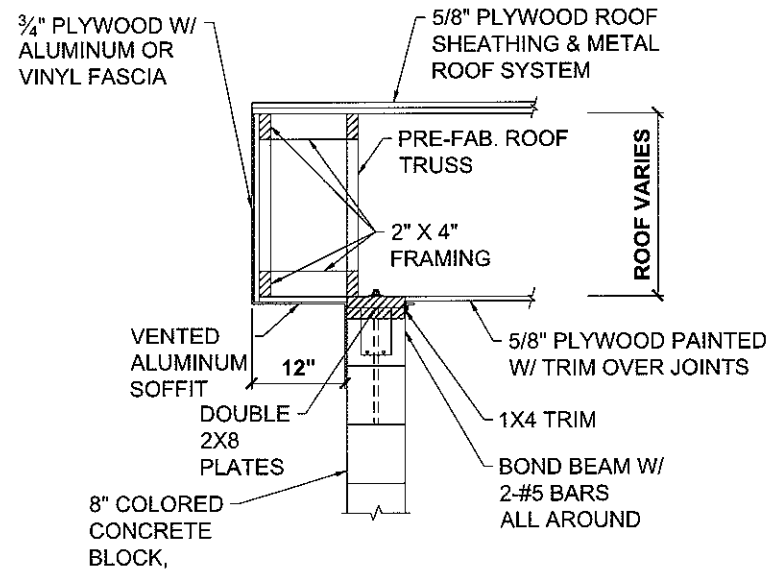
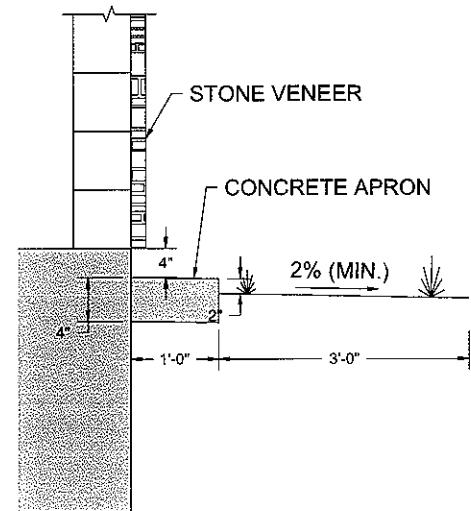
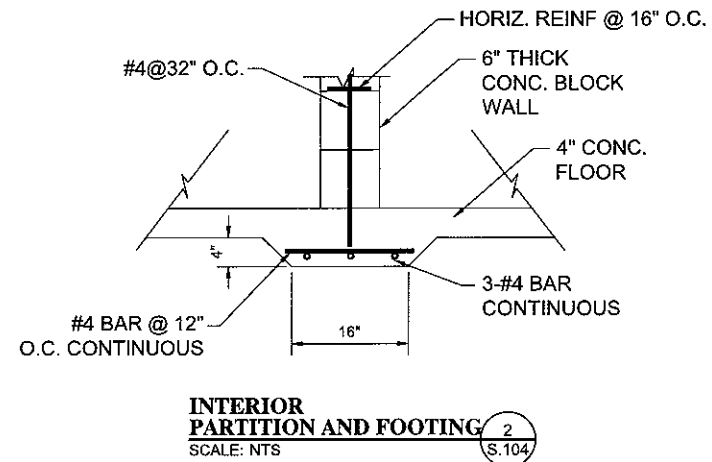
PROJ. # **CHC-302**

**S.103**



**NOTES:**

1. TRUSSES SHALL BE SPACED AT 24" O.C. OR AS RECOMMENDED BY MANUFACTURER'S STRUCTURAL ENGINEER.
2. TRUSSES ON EACH SIDE OF SKYLIGHT OPENING SHALL BE AS DESIGNED BY THE STRUCTURAL ENGINEER.
3. HEADERS & FRAMING FOR SKYLIGHT OPENING SHALL BE AS DESIGNED BY THE STRUCTURAL ENGINEER.
4. DIMENSIONS OF SKYLIGHT OPENING SHALL BE AS INDICATED ON SKYLIGHT SHOP DRAWINGS.



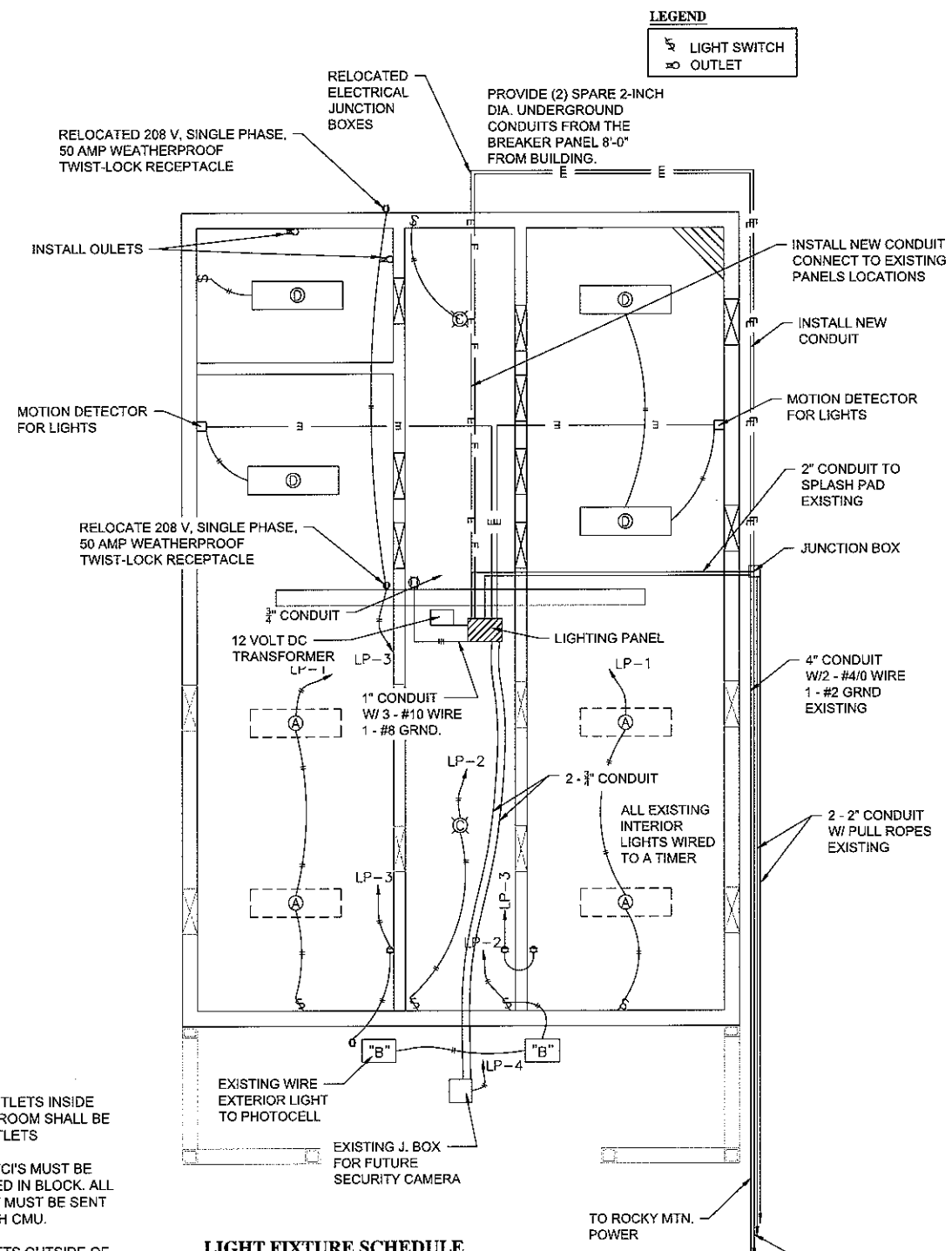
REV.	DATE	BY	COMMENTS
A	2-01-2019	BP	ISSUED SET PLANS

DATE: FEBRUARY 2019  
DRAWING NAME: RESTROOM DETAILS  
SCALE: AS SHOWN  
DESIGNED/DRAWN BY: AG  
CHECKED: APPROVED:

**RESTROOM DETAILS**  
MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

REVISION: **A**  
PROJ. # **CHC.302**  
**S.104**





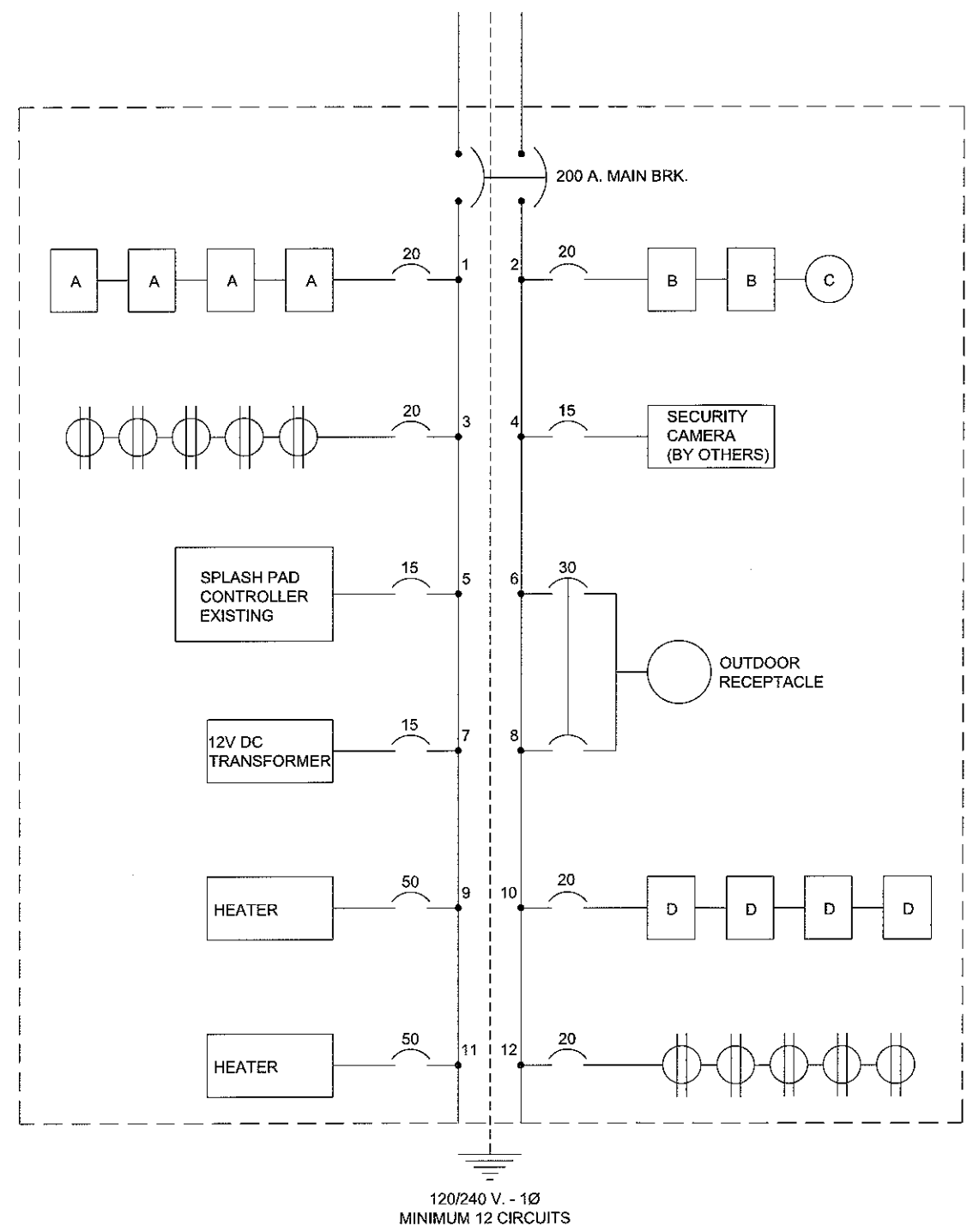
**LEGEND**  
 [Symbol] LIGHT SWITCH  
 [Symbol] OUTLET

**LIGHT FIXTURE SCHEDULE**

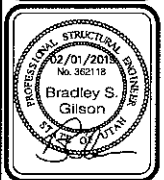
[Symbol A]	LITHONIA 48" LOW PROFILE 2 LAMP FLUORESCENT SURFACE MOUNT RAPID START, O.A.E.
[Symbol B]	HUBBELL #NRG-206B-PC SURFACE MOUNT WALL PACK WITH PHOTOCELL, O.A.E.
[Symbol C]	STANDARD CEILING MOUNTED 100W BULB SOCKET

**NOTE:**  
 1. ALL OUTLETS INSIDE OF RESTROOM SHALL BE GFCI OUTLETS  
 2. ALL GFCI'S MUST BE RECESSED IN BLOCK. ALL CONDUIT MUST BE SENT THROUGH CMU.  
 3. OUTLETS OUTSIDE OF RESTROOM SHALL BE WEATHER PROOF.  
 4. REFER TO SHEET S.101 FOR HEATER LOCATIONS. INSTALL CONDUIT AND WIRING PER MANUFACTURER'S RECOMMENDATIONS AND CURRENT CITY AND ELECTRICAL CODES.

**ELECTRICAL PLAN**  
 SCALE: 1" = 40'  
 1  
 E.101



**LIGHTING PANEL SCHEMATIC**  
 SCALE: NTS  
 2  
 E.101



**REVISIONS**

REV.	DATE	BY	COMMENTS
A	2-11-2019	AG	ISSUE FOR PERMITS

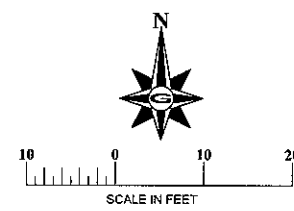
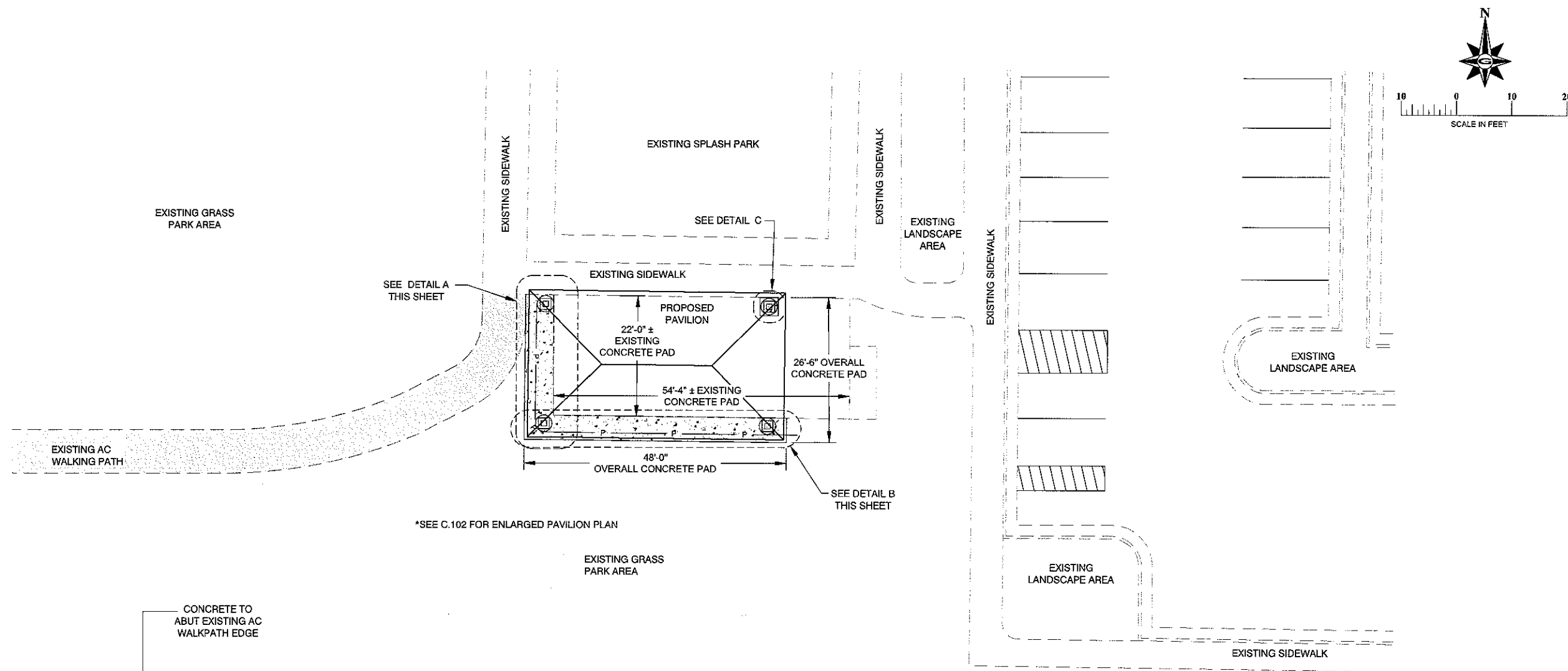
SCALE: MEASURES TO FULL SIZE SHEET  
 ADJUST FOR PLOT FACT SHEET

**DATE:** FEBRUARY 2019  
**DRAWING NAME:** ELECTRICAL PLAN  
**DESIGNED BY:** AG  
**CHECKED BY:** AG

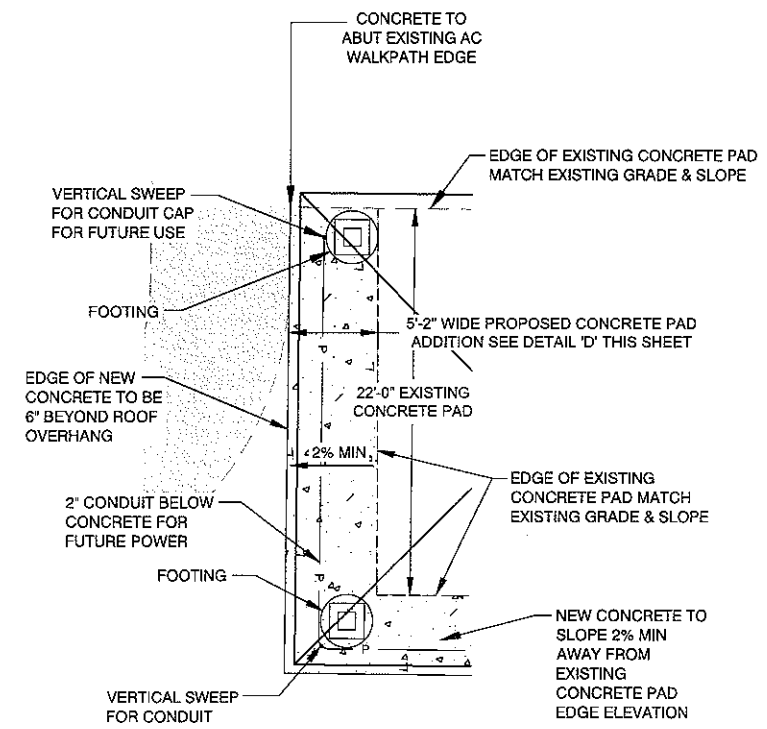
**ELECTRICAL PLAN**  
 MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
 FORT UNION BLVD. & VILLAGE GREEN RD.  
 COTTONWOOD HEIGHTS, UTAH

REVISION: A  
 PROJ. # CHC.302

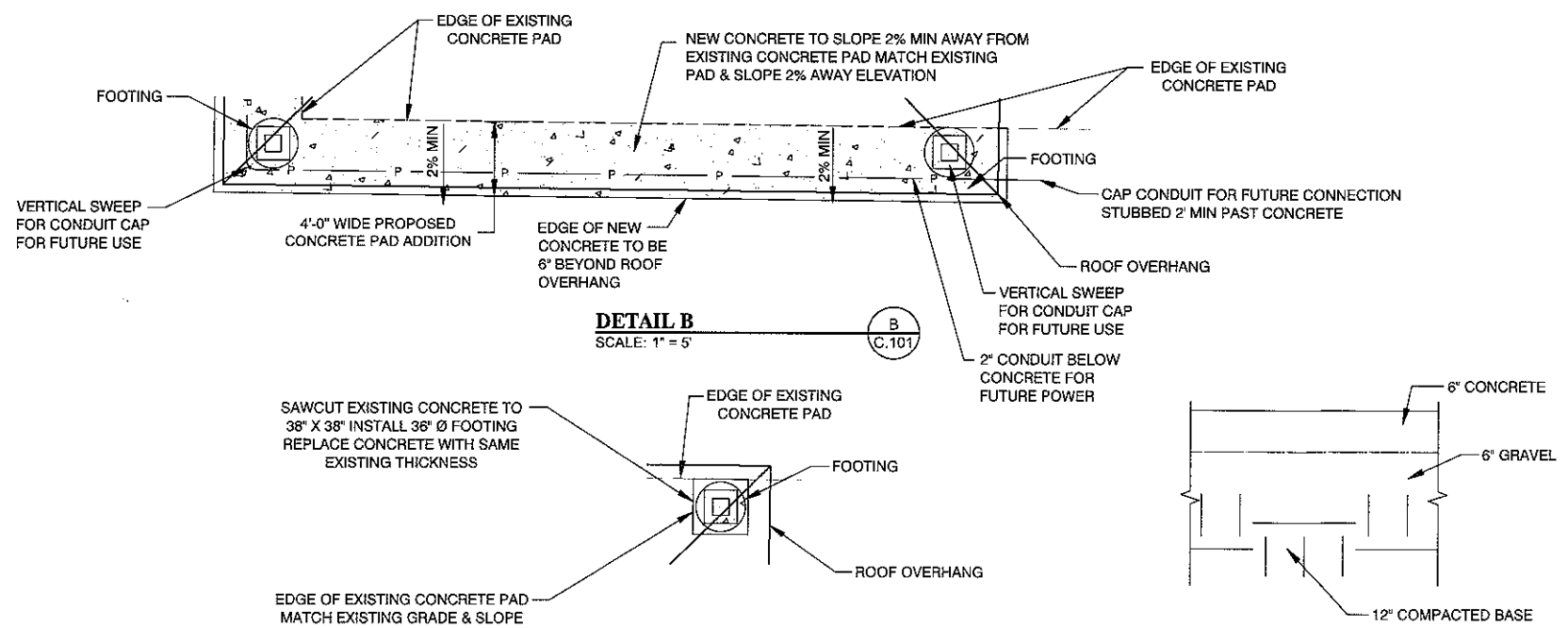
**E.101**



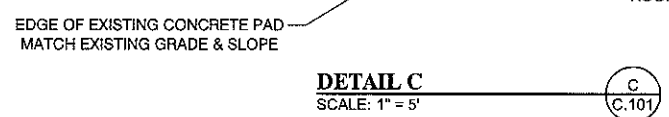
\*SEE C.102 FOR ENLARGED PAVILION PLAN



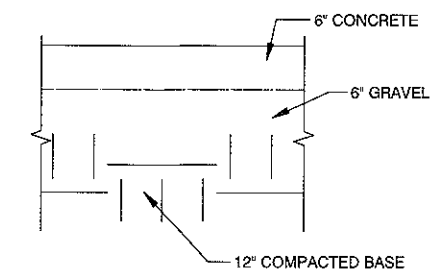
**DETAIL A**  
SCALE: 1" = 5'



**DETAIL B**  
SCALE: 1" = 5'



**DETAIL C**  
SCALE: 1" = 5'



**DETAIL D**  
SCALE: N.T.S.

**GILSON ENGINEERING**  
Consulting Engineers & Surveyors  
1840 SOUTH 400 EAST BUILDING C UNIT 2, CHAPER, UT 84002  
PHONE: (801) 971-9414 FAX: (801) 971-9446

PROFESSIONAL SEAL  
BRADLEY S. GILSON  
No. 362118  
EXPIRES 12/31/2019

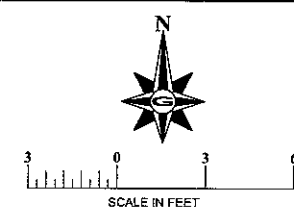
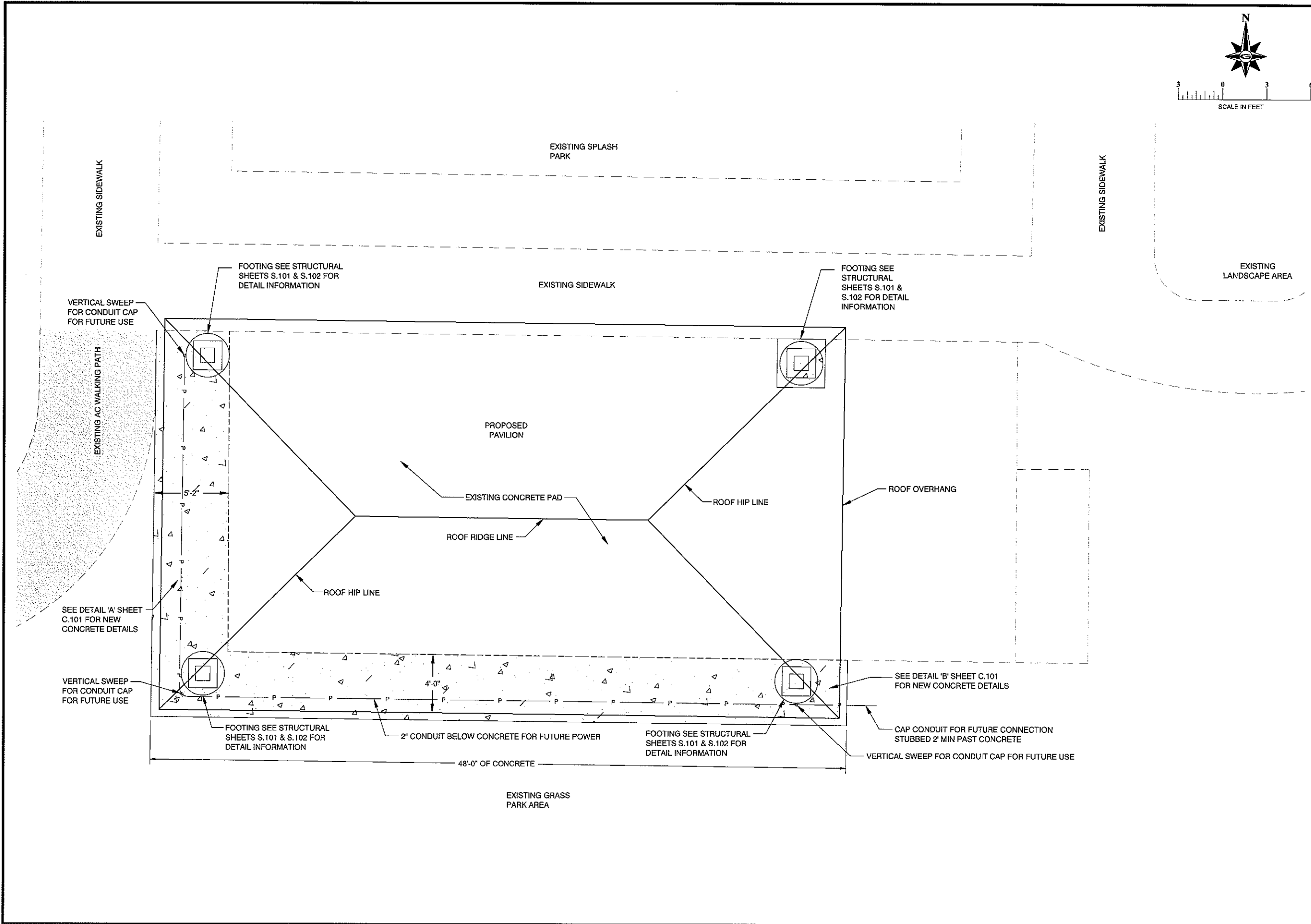
REVISIONS

REV.	DATE	BY	DESCRIPTION
A	2-01-2019	BP	BID SET PLANS

DATE: FEBRUARY 2019  
DRAWING NAME: PAVILION SITE PLAN  
PROJECT: MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
CHECKER: AG  
APPROVED: AG

**PAVILION SITE PLAN**  
MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

REVISION: **A**  
PROJ. # **CHC.302**  
**PC.101**



**UTAH ENGINEERING**  
 Consulting Engineers & Surveyors  
 12401 SOUTH 405 EAST WILMINGTON C. UNIT 2, DRAPER, UT 84020  
 PHONE: (801) 971-9414 FAX: (801) 971-9418

PROFESSIONAL SEAL  
 02/01/2019  
 No. 98218  
 Bradley S. Gilson  
 State of Utah

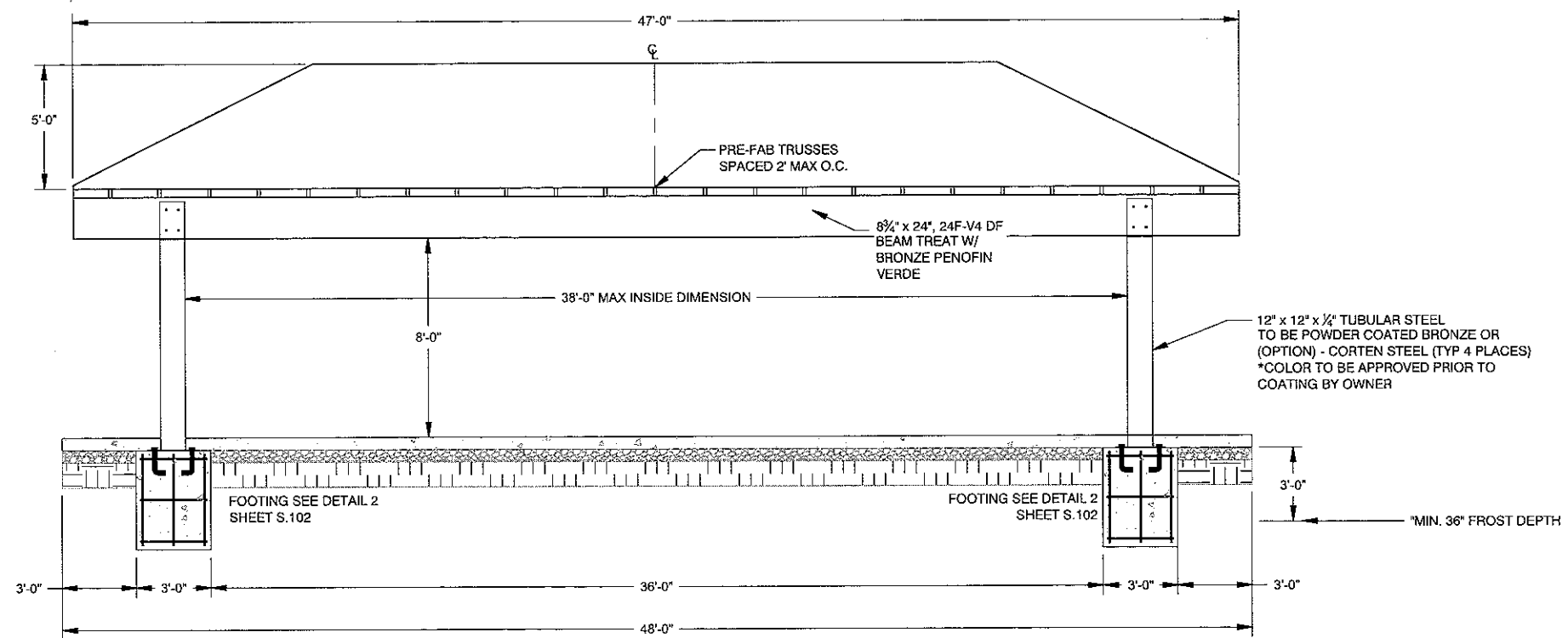
REV.	DATE	BY	REVISION
A	2-01-2019	EP	BID SET P.LANE

DATE	REVISIONS
FEBRUARY 2019	ENLARGED PAVILION

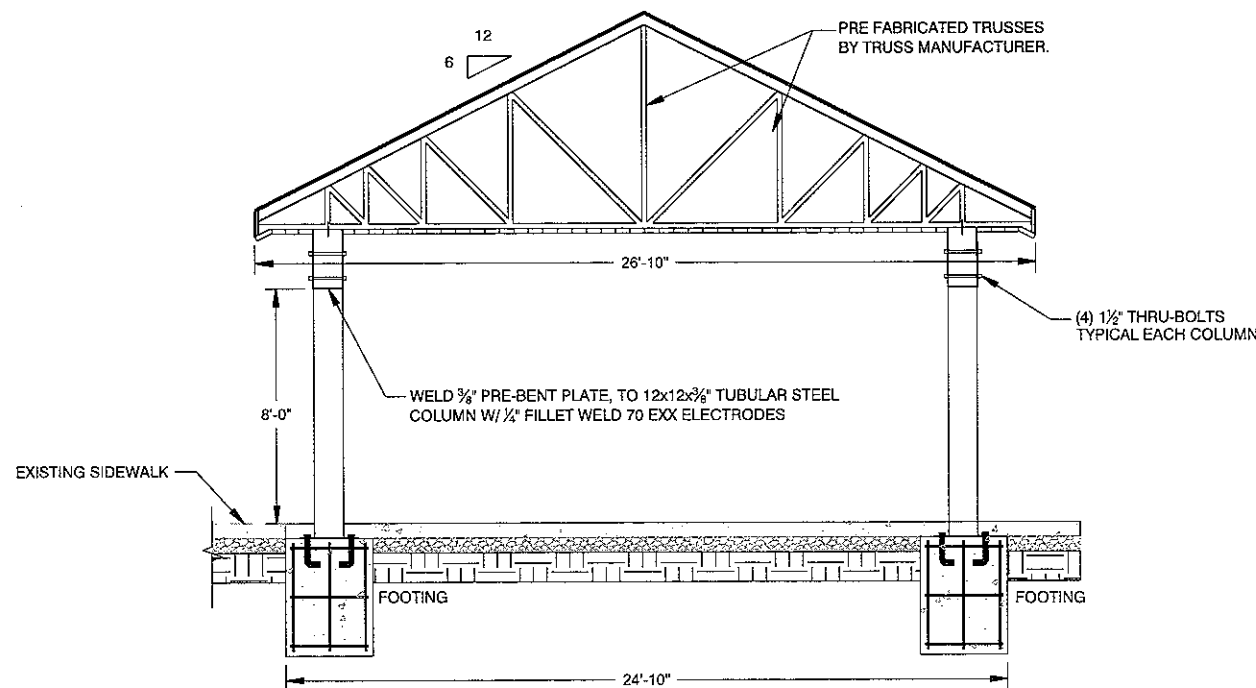
DESIGNED BY: A/G	CHECKED: [ ]	APPROVED: [ ]
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**ENLARGED PAVILION**  
 MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
 FORT UNION BLVD. & VILLAGE GREEN RD.  
 COTTONWOOD HEIGHTS, UTAH

REVISION: **A**  
 PROJ # **CHC.302**  
**PC.102**



**PAVILION ELEVATION VIEW**  
SCALE: 1" = 3'  
1 S.101



**PAVILION SECTION ELEVATION VIEW**  
SCALE: 1" = 3'  
2 S.101

**STRUCUTRAL KEY NOTES:**

1. TRUSS DESIGN BY OTHERS, SNOW LOAD 90 PSF, EXPOSURE C.
2. ALL HARDWARE USED TO BE BLACK
3. ROOF SHALL MATCH SAME SILVER AS EXISTING PAVILION AT MOUNTVIEW PARK
4. COLUMNS SHALL MATCH SAME COLOR AS EXISTING PAVILION AT MOUNTVIEW PARK
5. ALL WELDING TO BE 70 EXX ELECTRODES

**GILSON ENGINEERING**  
Consulting Engineers & Surveyors  
12401 SOUTH 460 EAST BUILDING C, UNIT 2, DRAPER, UT 84020  
PHONE: (801) 271-3411 FAX: (801) 271-4468

PROFESSIONAL STRUCTURAL ENGINEER  
02/01/2019  
No. 362118  
Bradley S. Gilson  
STATE OF UTAH

REVISIONS

NO.	DATE	BY	REASON
1	02/01/2019	BP	BID SET PLANS

REVISIONS

NO.	DATE	BY	REASON
1	02/01/2019	BP	BID SET PLANS

SCALE MEASURES 1" ON FULL SIZE SHEET  
ADJUST FOR HALF SIZE SHEET

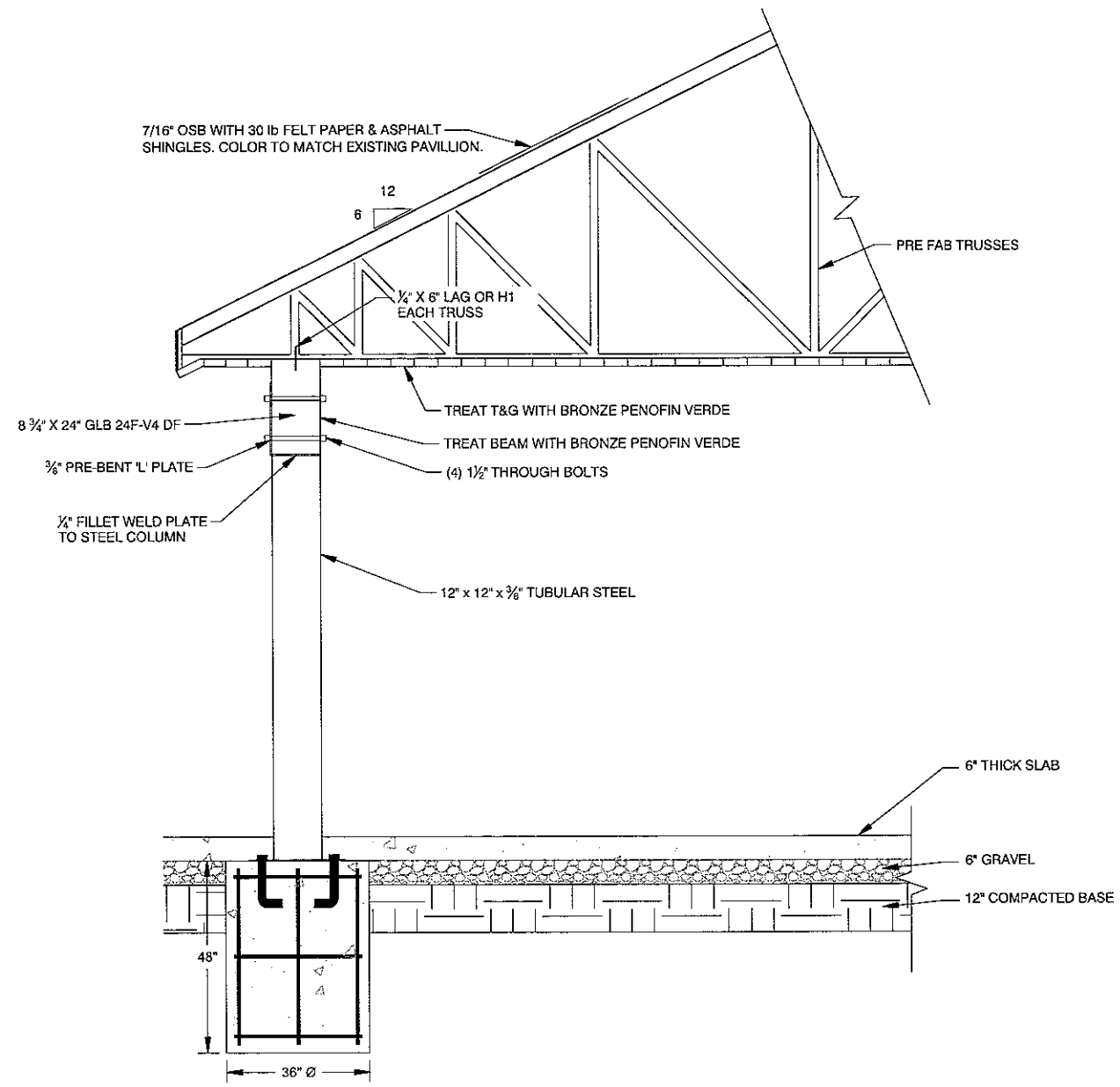
FEBRUARY 2019  
PROJECT NAME:  
STRUCTURAL DETAILS  
DESIGNED/DRAWN BY:  
CHECKED: APPROVED:

**STRUCTURAL PAVILION ELEVATIONS**  
MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

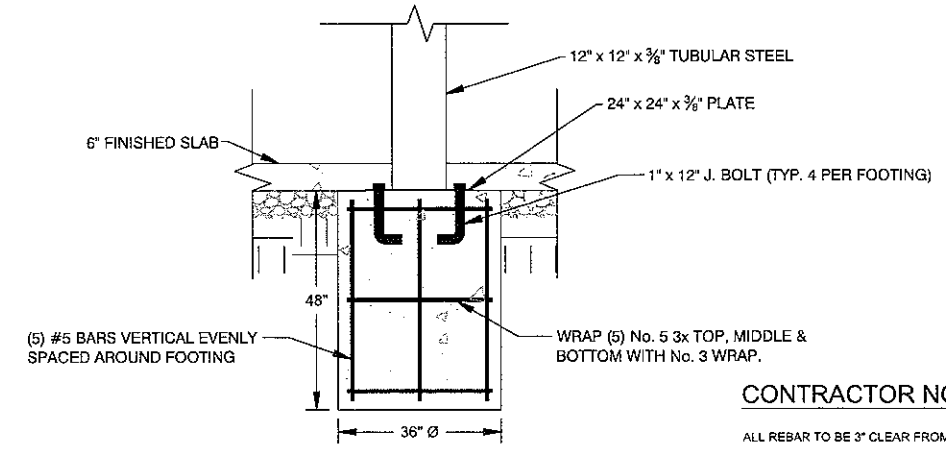
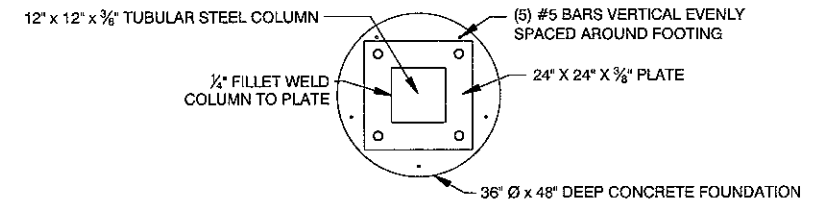
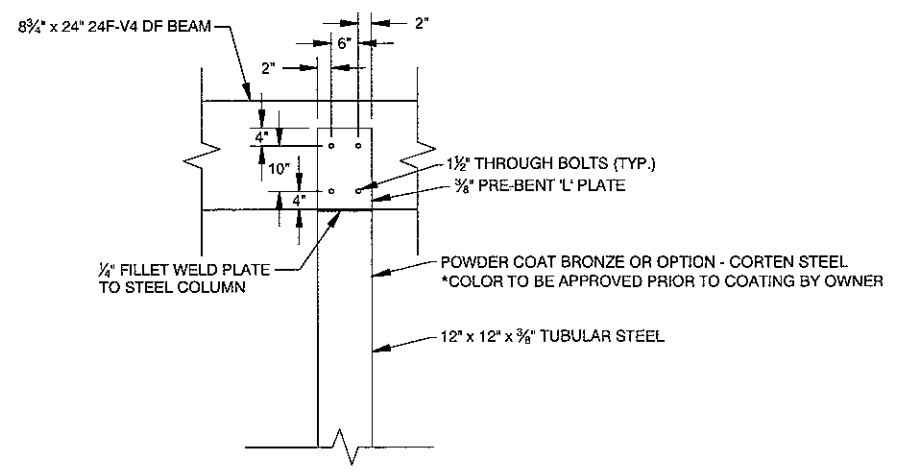
REVISION: **A**

PROJ. # **CHC.302**

**PS.101**



**PAVILION  
ELEVATION DETAIL**  
SCALE: N.T.S. 1  
S.102

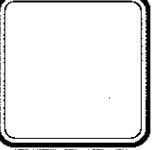
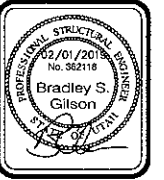
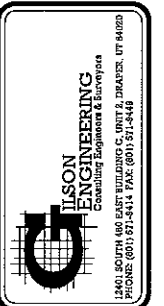


**FOOTING**  
SCALE: N.T.S. 2  
S.102

**STRUCUTRAL KEY NOTES:**

1. TRUSS DESIGN BY OTHERS, SNOW LOAD 80 PSF, EXPOSURE C.
2. ALL HARDWARE USED TO BE BLACK
3. ROOF SHALL MATCH SAME SILVER AS EXISTING PAVILION AT MOUNTVIEW PARK
4. COLUMNS SHALL MATCH SAME COLOR AS EXISTING PAVILION AT MOUNTVIEW PARK
5. ALL WELDING TO BE 70 EXX ELECTRODES

**CONTRACTOR NOTE:**  
ALL REBAR TO BE 3" CLEAR FROM SIDES, BOTTOM & TOP.



DATE	REVISIONS
FEBRUARY 2019	REVISED FOR SET PLANS

DRAWING NAME: STRUCTURAL DETAILS  
DESIGNED/DRAWN BY: JAG  
CHECKED: [ ]  
APPROVED: [ ]

**STRUCTURAL DETAILS**  
MOUNTVIEW PARK RESTROOM EXPANSION & PAVILION PROJ.  
FORT UNION BLVD. & VILLAGE GREEN RD.  
COTTONWOOD HEIGHTS, UTAH

REVISION: **A**

PROJ. # **CHC.302**

**PS.102**