

Walk Through Notes

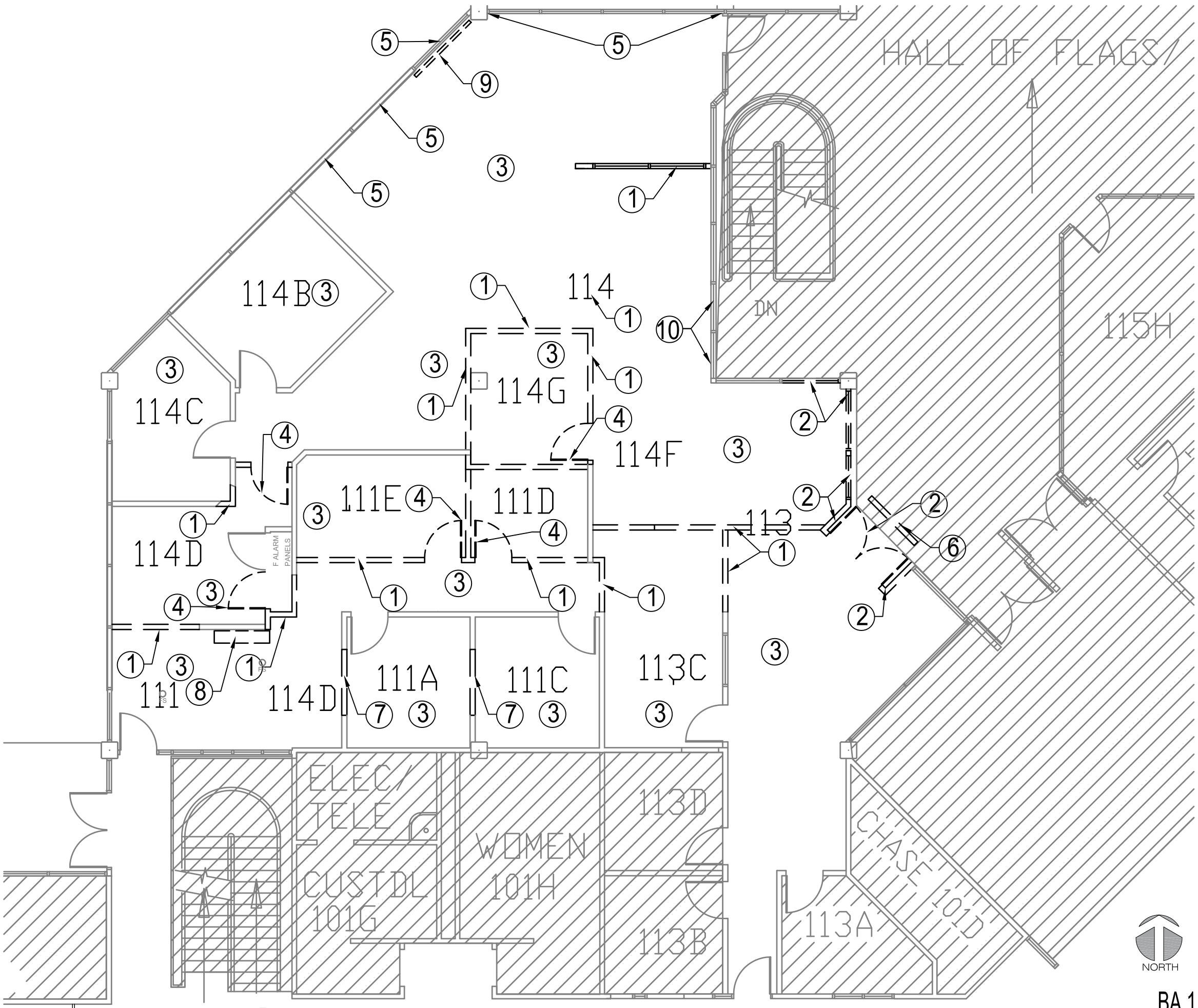
Pre Bid: BA 111 Suite Remodel
#2019-0641

December 3, 2018

1. See the attached revised Demolition plan sheet AD101 revision 1, dated 12/04/2018.
2. Offices 111A, 11C, 111E, 113C and 114D were given a demolition keyed note #3 to remove the carpet and rubber base. See update sheet AD101 revision 1, dated 12/04/2018. Also, to clarify the finish plan AE102 shows new carpet tile CT-1 and rubber base RB-1 in the all the spaces within the scope. Carpet is to be replaced for the whole scope that isn't hatched "not in scope of work". The carpet tile in the 113W area is getting replaced down (south) to the door to that space.
3. Sheet EE001 should state in the Data/Telecom Structured Cabling Details notes: "IDF room BA101G" instead of "WB104." The IDF room is on the other side (south) of offices 111A and 111B. The contractor is to do all the cabling.
4. Updated Plastic laminate finishes on detail 1/AE501. See the attached revised sheet AE501 revision 1, dated 12/04/2018.
5. There are adequate circuits for the new systems furniture shown.
6. UVU will remove all furniture prior to construction.
7. The conduit in the fire panel closet needs to be rerouted within the closet to be out of the way for the new hallway in area 111.
8. See updated sheets AE504 revision 1, dated 12/4/2018 and added sheet AE505.
To clarify, window type 1 is for the west wall in office 111B and 113F, elevation 11/AE504 and it is a hollow metal frame. Window type 2 is for the east wall in office 111A and 111B, elevation 12/AE504, it is also a hollow metal frame. Window type 3 is for reception 113 west wall, elevation 13/AE504 and is a hollow metal frame.
Aluminum storefront systems are for the elevations 8-10/AE504.
9. The specifications will be shown on the drawings. There is not going to be a specification manual / book for this project.
10. Oshkosh doors are an acceptable door manufacturer.
11. Attached is an existing mechanical sheet M-101 of the space for your reference. It shows some of the existing ducts in the space. There is not a new mechanical drawing showing the duct changes.

12. Sheet AE101 keyed note #4 – stainless steel corner guard. Provide corner guards where there is a note #4. Add a note #4 to the northwest outside corner to office 111A. Provide a “U” shaped corner guard to the wall in reception area 113 where there are 2 exposed corners.
13. The new fan coil unit noted on Sheet AE111 is located in the NW corner of the open office 114 and near the east outside corner of office 114A. There is a keyed note #1 shown in the reflected ceiling plan in those locations mentioned above.
14. For bidding purposes on the square patterned panel since I cannot find a specification for the existing patterned one, provide a glass spandrel, ¼ inch Solexia with ½ spacer and ¼ white spandrel tempered. The white is Opaci-Coat high performance glass coating in the 0-1060 white color.
15. Demo the two existing doors and frame for the fire alarm panels in room 114D on sheet AD101. Provide one new painted HM frame and 3’x7’ solid core wood door (no lite in the door) to the fire alarm panel in area 111. Provide new hardware with the following:

3 ea hinge	5BB1 4.5 x 4.5	652	IVE
1 ea lock	10-28-10G04 LL – LC keyway	612	SAR
3 ea silencer	SR64	GRY	IVE



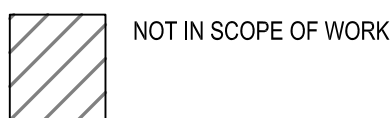
GENERAL NOTES

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION & PREPARATION WORK AS SHOWN ON DRAWINGS & AS REQUIRED FOR A COMPLETE & PROPER JOB. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXTENT OF REQUIRED DEMOLITION & PREPARATION WORK. THE CONTRACTOR SHALL REMOVE FROM THE SITE & DISPOSE OF ALL DEMOLITION ITEMS IN ACCORDANCE WITH ALL APPLICABLE STATE & FEDERAL LAWS.
- B. ALL ITEMS NOT INDICATED FOR REMOVAL SHALL REMAIN & SHALL BE PROTECTED. ANY ITEMS DAMAGED SHALL BE REPAIRED TO MATCH THE ADJACENT SURFACE AT NO COST TO THE OWNER.
- C. CONTRACTOR IS RESPONSIBLE TO DELIVER SURPLUS MATERIAL TO UVU SURPLUS WAREHOUSE AT THE AUXILIARY SERVICES (AX) BUILDING AT 1525 W. BUSINESS PARK DRIVE, OREM.

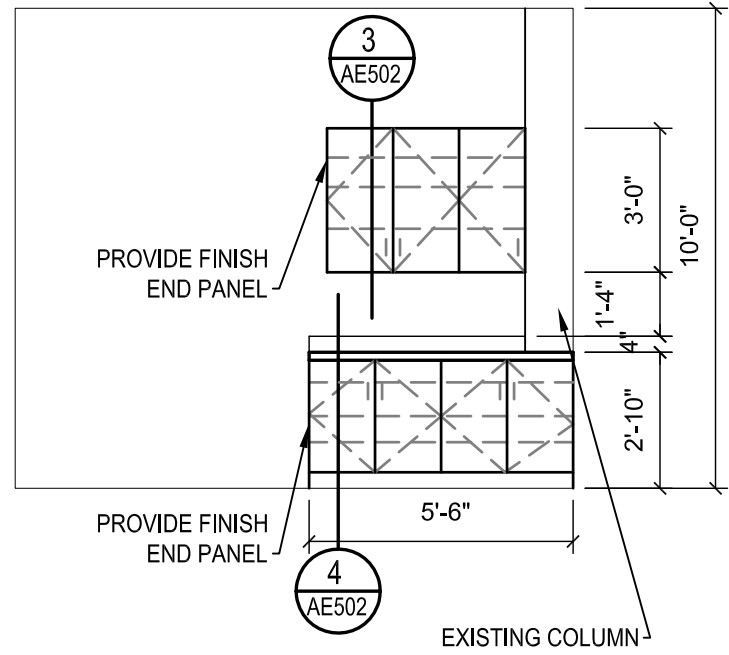
DEMOLITION KEYED NOTES

- ① REMOVE WALL SYSTEM COMPLETE.
- ② REMOVE METAL FRAMED WINDOW AND DOOR SYSTEM COMPLETE.
- ③ REMOVE CARPET AND RUBBER BASE COMPLETE.
- ④ REMOVE DOOR FRAME, DOOR HARDWARE AND DOOR SYSTEM COMPLETE.
- ⑤ RETAIN AND PROTECT WINDOW BLINDS.
- ⑥ REMOVE WAYFINDING SIGNAGE, SALVAGE BACK TO OWNER.
- ⑦ REMOVE WALL FOR NEW WINDOW OPENING.
- ⑧ REMOVE UPPER CABINET AND RELOCATE. COORDINATE NEW LOCATION WITH OWNER.
- ⑨ POWER STRIP TO BE REMOVED AND MODIFIED FOR THE LOCATION OF THE NEW OFFICE WALL.
- ⑩ REMOVE WINDOW BLINDS COMPLETE.

DRAWING LEGEND



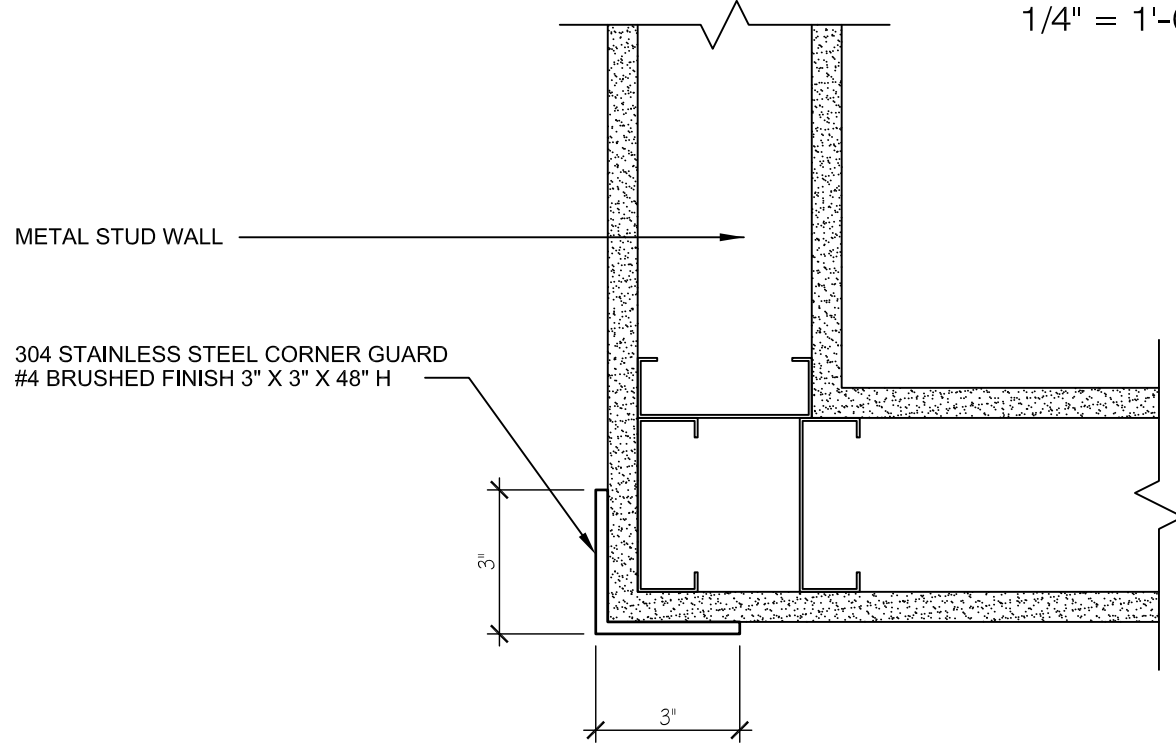
PLASTIC LAMINATE FINISHES
 COUNTERTOP AND BACKSPLASH:
 WILSONART - OILED SOAPSTONE 4882
 VERTICAL LAMINATE:
 WILSONART - TAN ECHO 7941



CASEWORK INT ELEV

1

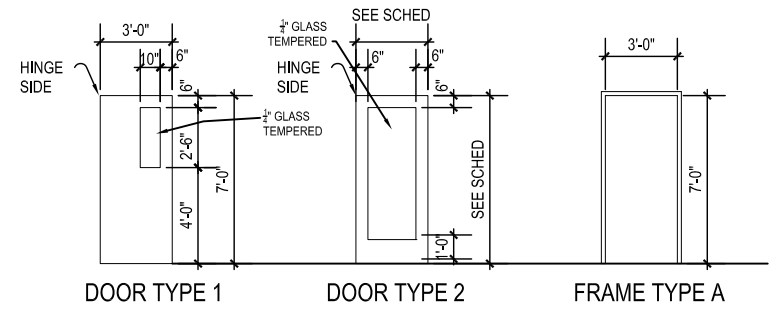
1/4" = 1'-0"



CORNER GUARD DETAIL

2

3" = 1'-0"



DOOR SCHEDULE										
DOOR NO.	DOOR				FRAME				HDWR GROUP	
	TYPE	SIZE		MAT.	TYPE	MAT.	FINISH	NOTES		
		W	H	T						
111B	1	3'-0"	7'-0"	1 3/4"	SCWD.	A	HM	PT		1
113	1	3'-0"	7'-0"	--	AL/GLAS	B	AL	DB		2
113F	1	3'-0"	7'-0"	1 3/4"	SCWD.	A	HM	PT		1
114A	1	3'-0"	7'-0"	1 3/4"	SCWD.	A	HM	PT		1

DOOR SCHEDULE LEGEND

DOOR MATERIAL
 SCWD: SOLID CORE WOOD
 MARSHFIELD DOOR FACE: PLAIN SLICED
 WHITE OAK - MATCH EXISTING

DOOR FINISH
 ST: STAIN (FACTORY) - MATCH EXISTING

FRAME MATERIAL
 HM: HOLLOW METAL
 AL: ALUMINUM

FRAME FINISH
 PT: PAINT - P2 ON SHEET AE102
 DB: DARK BRONZE ALUM. TO MATCH EXST.

DOOR HARDWARE SETS

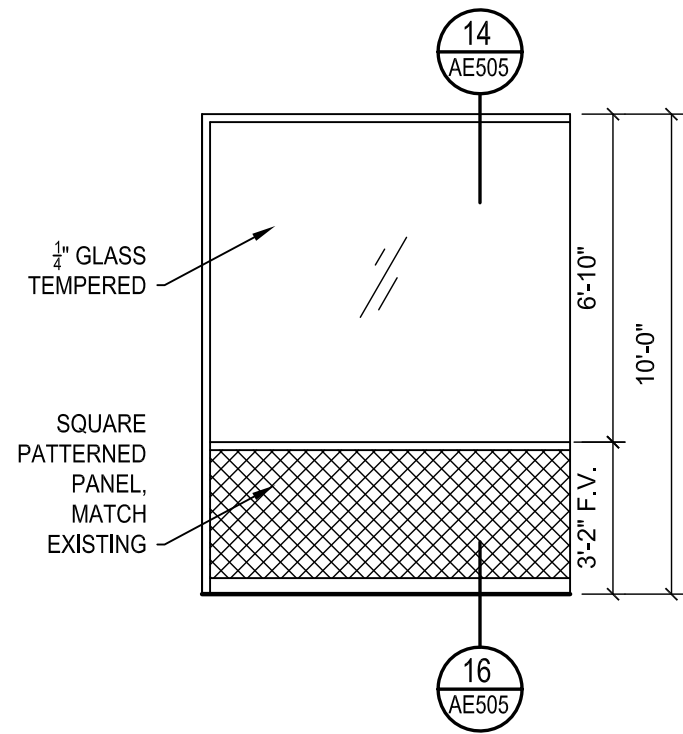
NOTE: DOOR TRIM TO BE SARGENT 10 LINE WITH LL TRIM

HARDWARE SET 01:

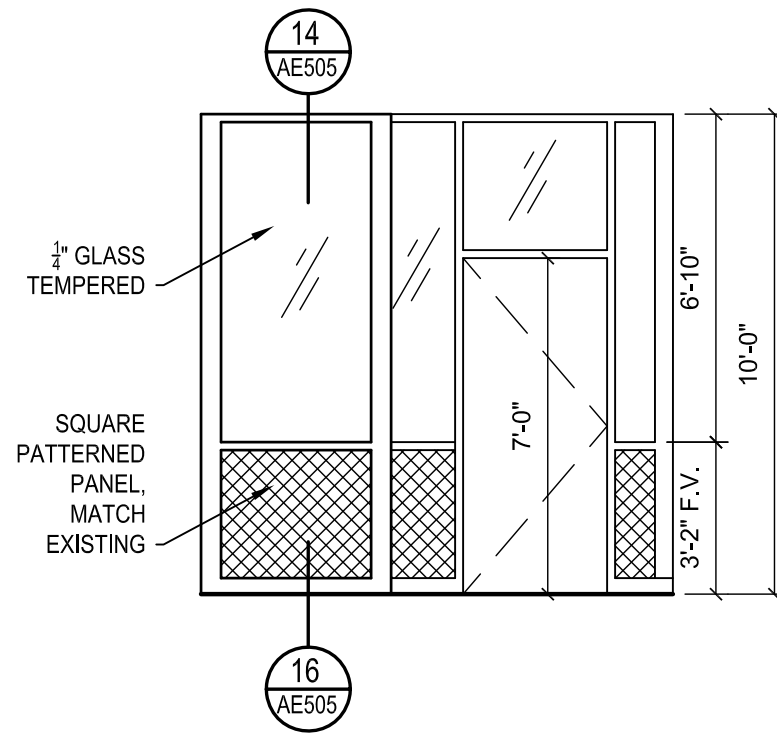
3 EA HINGE	5BB1 4.5 X 4.5	652 IVE
1 EA OFFICE LOCK	10-28-10G05 LL - LC KEYWAY	612 SAR
1 EA WALL STOP	WS407CCV	630 IVE
3 EA SILENCER	SR64	GRY IVE

HARDWARE SET 02:

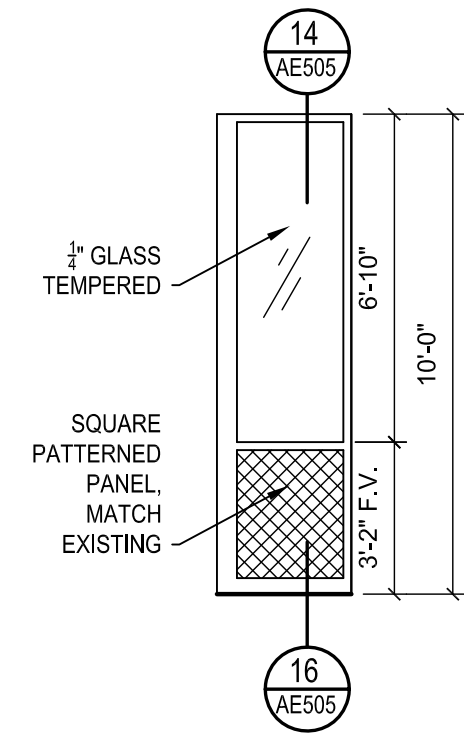
1 EA CONTINUOUS HINGE	700	630 IVE
1 EA CYLINDRICAL LOCK - SARGENT CORE COMPATIBLE	LC KEYWAY	626 SAR
1 EA CLOSER	4040	689 LCN
1 EA EXIT DEVICE	AD8500	612 SAR
3 EA SILENCER	SR64	GRY IVE



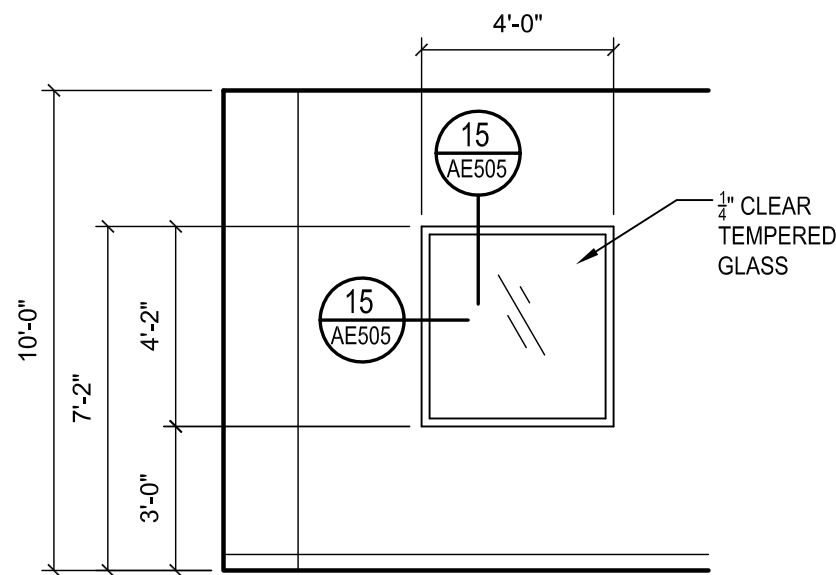
STOREFRONT ELEV 8
1/4" = 1'-0"



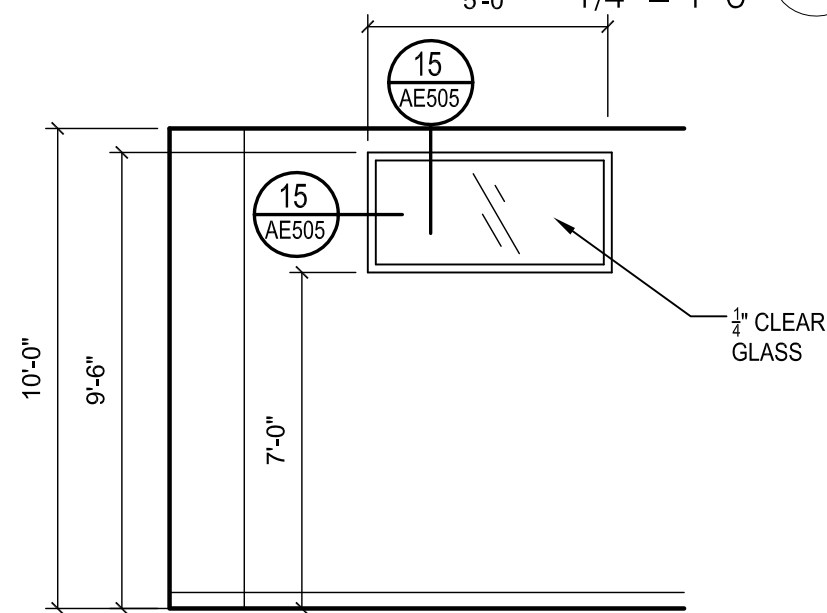
STOREFRONT ELEV 9
1/4" = 1'-0"



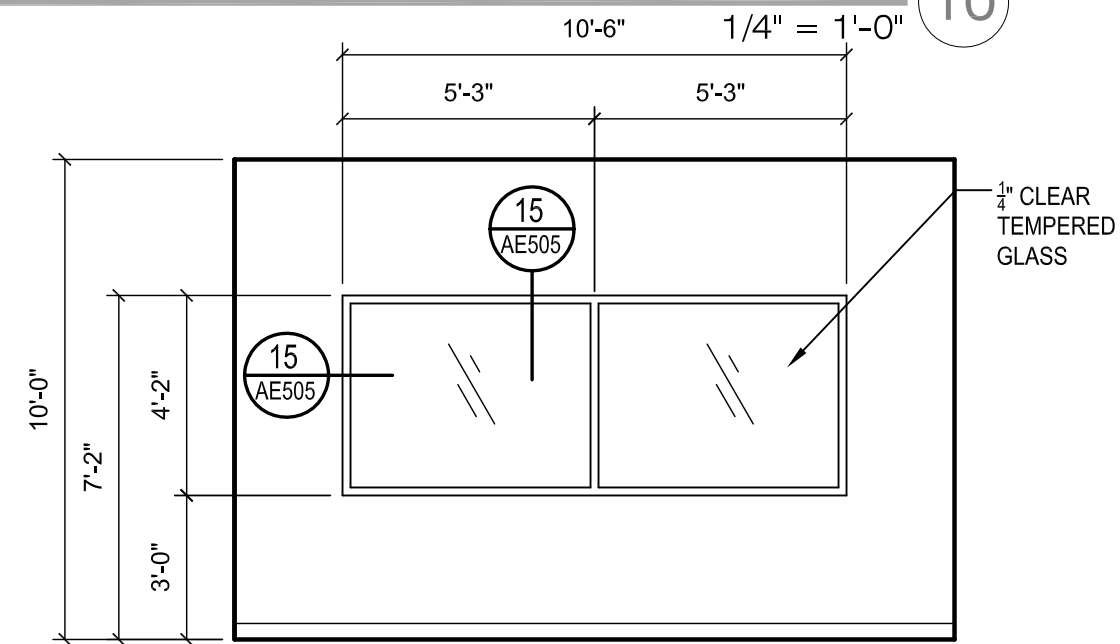
STOREFRONT ELEV 10
1/4" = 1'-0"



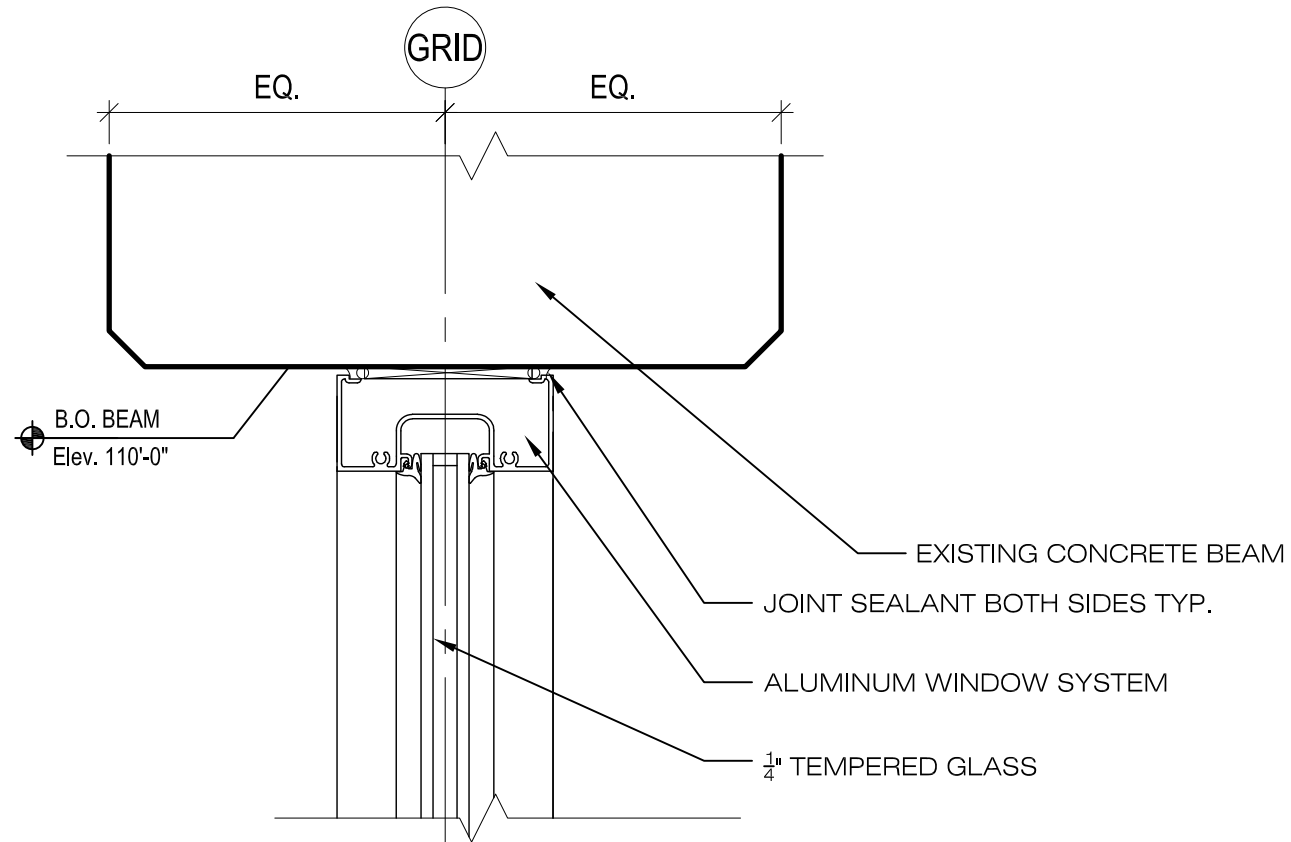
WINDOW TYPE 1 11
1/4" = 1'-0"



WINDOW TYPE 2 12
1/4" = 1'-0"



WINDOW TYPE 3 13
1/4" = 1'-0"



ALUM HEAD DETAIL

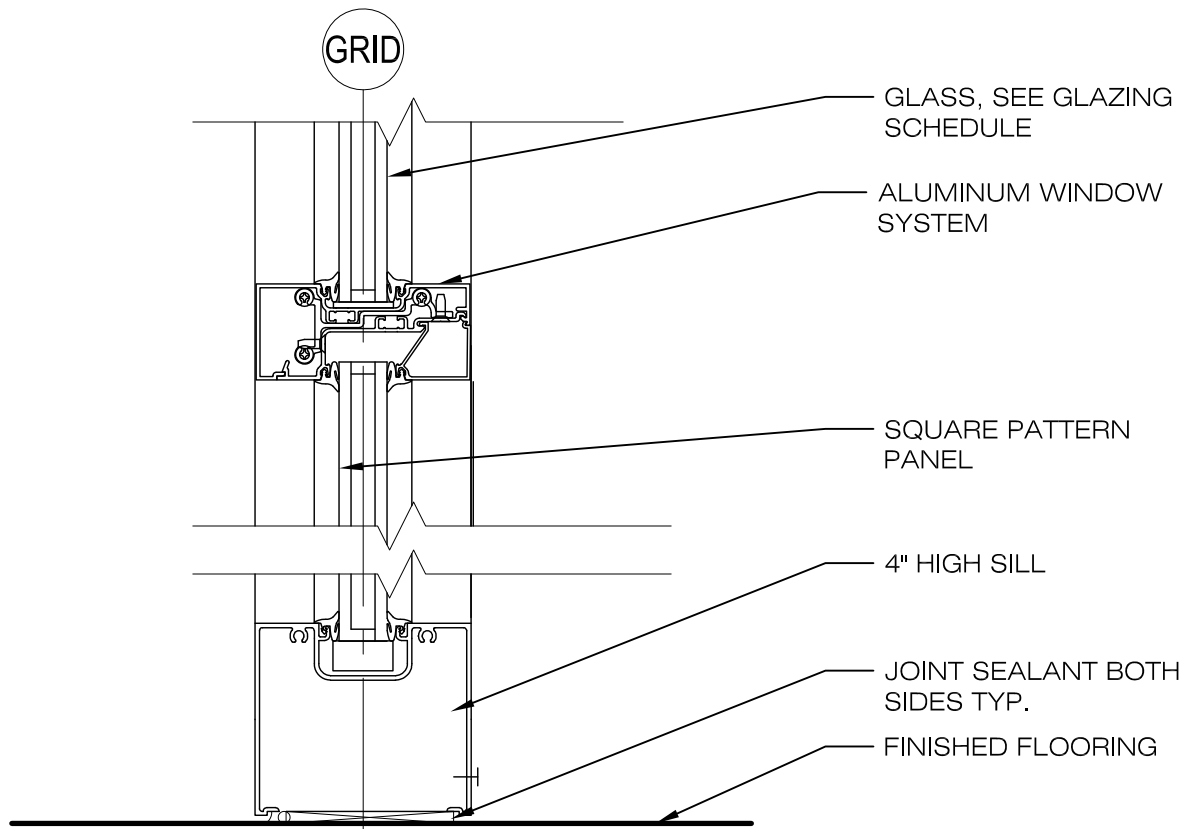
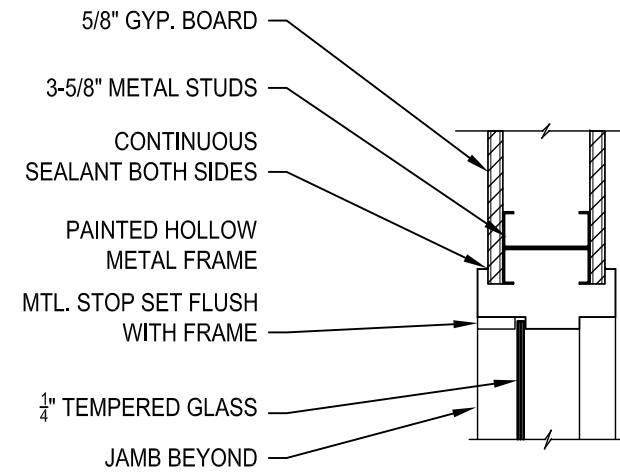
3" = 1'-0"

14

HEAD / JAMB (WINDOW) HM DETAIL

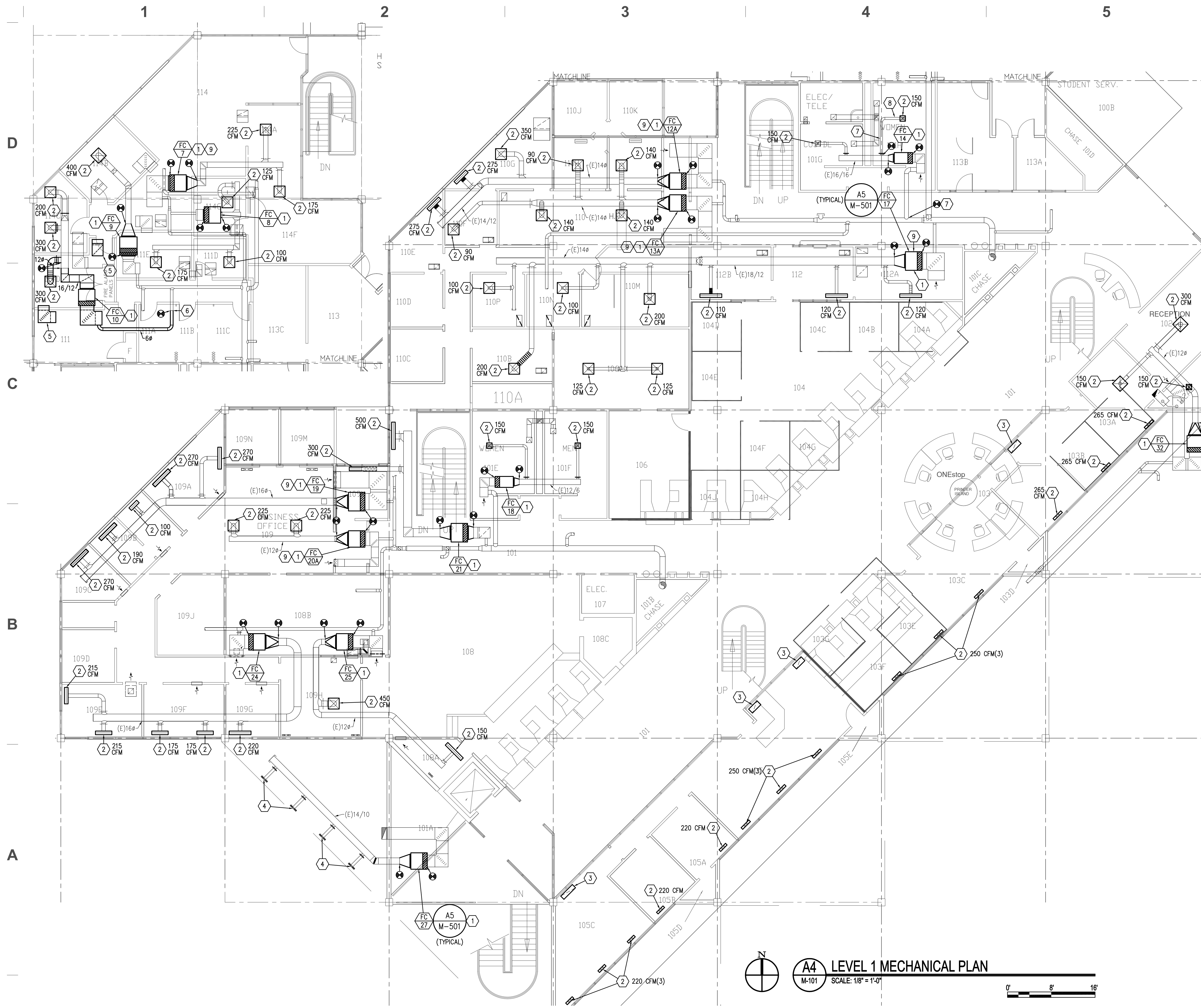
3" = 1'-0"

15



ALUM SILL DETAIL

16

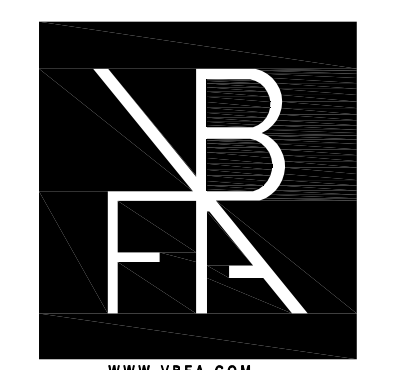


KEYED NOTES

1. PROVIDE AND INSTALL NEW FAN COIL UNIT AS SHOWN. CONNECT TO EXISTING SUPPLY AIR AND RETURN AIR DUCTS. MAKE TRANSITIONS AS NECESSARY.
2. BALANCE EXISTING SUPPLY DIFFUSER TO CFM SHOWN (TYPICAL).
3. EXISTING RETURN AIR OPENINGS TO REMAIN.
4. BALANCE FLOOR GRILLES TO CFM SHOWN ON M-102.
5. RELOCATED RETURN AIR GRILLE AND RETURN AIR BOOT.
6. EXTEND AND CONNECT NEW OUTSIDE AIR DUCT TO EXISTING.
7. RELOCATED DUCTWORK. CONNECT TO EXISTING MAIN.
8. PROVIDE NEW 8" DUCT CONNECTION TO EXISTING DIFFUSER.
9. PROVIDE AND INSTALL NEW FIELD BUILT FILTER RACK AS SHOWN ON FAN COIL DETAIL, A5/M-501.

GENERAL NOTES

1. CONTRACTOR TO DISCONNECT AND RECONNECT EXISTING LIGHT FIXTURES AS NEEDED FOR REMOVAL OF EXISTING FAN COIL UNITS, AND INSTALLATION OF NEW. CONTRACTOR TO REPLACE DAMAGED CEILING TILES AS NECESSARY DUE TO CONSTRUCTION.
2. CONTRACTOR TO INSTALL ALL NEW FAN COIL UNITS WITH FULL ACCESS TO FILTERS, CONTROLS, ETC.



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• Van Boerum & Frank Assoc., 2011

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REVISIONS

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DRAWN BY:	Ejuares
CURRENT/BID DATE:	01/17/2012

SHEET CONTENTS
LEVEL 1 MECHANICAL PLAN

M-101

A4
LEVEL 1 MECHANICAL PLAN
M-101 SCALE: 1/8" = 1'-0"