

# SSL FINANCE OFFICE REMODEL

220 MORRIS AVE.  
SOUTH SALT LAKE CITY UT 84115

OWNER

USER

CIVIL

LANDSCAPE

ARCHITECT

CARBON ARCHITECTS  
2032 LINCOLN AVE, STE 102  
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STRUCTURAL



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PROJECT:

**SSL FINANCE  
OFFICE REMODEL**

220 MORRIS AVE.  
SOUTH SALT LAKE CITY UT 84115

DATE: 09/08/23

PROJECT NO 1128-022

REVISION DATE

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ISSUED

NO.	DATE	DESCRIPTION
1.		
2.		



**COVER  
SHEET**

SCALE:

**G000**

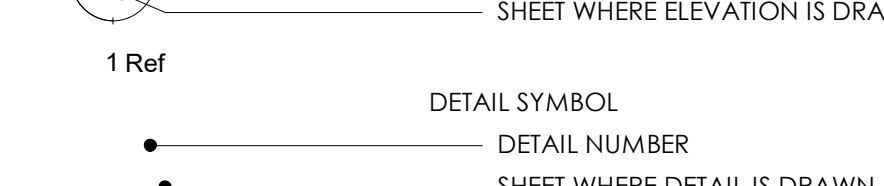
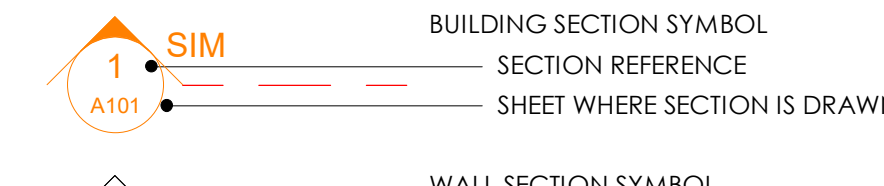
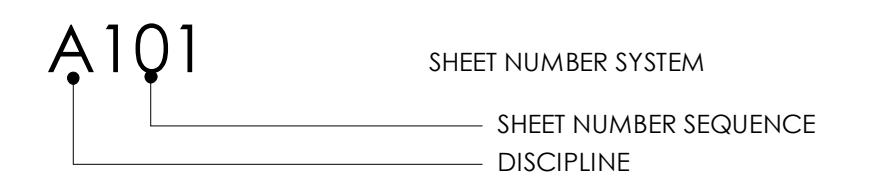
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## ABBREVIATIONS

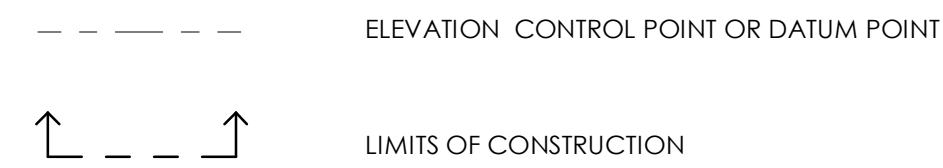
(E) OR EXIST.	EXISTING	N.J.C.	NOT IN CONTRACT	T.O.C.	TOP OF CURB
A.F.F.	ABOVE FINISHED FLOOR	N.T.S.	NOT TO SCALE	T.O.F.	TOP OF FOOTING
B.O.	BOTTOM OF BUILDING	NO.	NUMBER	T.O.S.	TOP OF SLAB OR SIDEWALK
BLDG.	BUILDING	O.C.	ON CENTER	T.O.W	TOP OF WALL
CLG.	CEILING	O.D.	OUTSIDE DIAMETER	THRU.	THROUGH
CMU.	CONCRETE MASONRY UNIT	O.F.	OUTSIDE FACE	TYP.	TYPICAL
CONC.	CONCRETE	O.H.	OVERHEAD	U.N.O.	UNLESS NOTED OTHERWISE
EA.	EACH	O.W.S.J.	OPEN WEB STEEL JOIST	VCT	VINYL COMPOSITION TILE
EQ.	EQUAL	O.P.P.	OPPOSITE	VERT.	VERTICAL
F.E.	FIRE EXTINGUISHER	P.C.F.	POUNDS PER CUBIC FOOT	VEST.	VESTIBULE
F.E.C.	FIRE EXTINGUISHER CABINET	P.L.F.	POUNDS PER LINEAR FOOT	VNR.	VENEER
FT.	FEET	P.S.F.	POUNDS PER SQUARE FOOT	W.W.F.	WELDED WIRE FABRIC
GA.	GAGE/ GAUGE	P.S.I.	POUNDS PER SQUARE INCH	W/	WITH
GOVT.	GOVERNMENT	P.S.I.	POUNDS PER SQUARE INCH	W/O	WITHOUT
GPM	GALLONS PER MINUTE	PART.	PARTITION	WD.	WOOD
GW.B.	GYPSON WALL BOARD	PERP.	PERPENDICULAR		
H.M.	HOLLOW METAL	PL.	PLATE		
H.S.A.	HEADED STUD ANCHOR	PND.	PAINTED		
HC.	HANDICAPPED	PROT.	PROTECTION		
HDW.	HARDWARE	QTY.	QUANTITY		
HORIZ.	HORIZONTAL	R.D.	ROUGH OPENING		
HR.	HOUR	R.O.	ROUGH OPENING		
HT.	HEIGHT	RAD	RADIUS		
HVAC	HEATING/VENTILATION/IR CONDITIONING	REINF.	REINFORCED		
HYD	HYDRANT	REQ.	REQUIRED		
I.D.	INSIDE DIAMETER	RM.	ROOM		
I.F.	INSIDE FACE	S.D.I.	STEEL DECK INSTITUTE		
IN.	INCHES	S.J.I.	STEEL JOIST INSTITUTE		
INFO.	INFORMATION	S.O.D.	SLAB ON DECK		
INSUL.	INSULATION	S.O.G.	SLAB ON GRADE		
L	ANGLE	SCHED.	SCHEDULE		
LAV.	LAVATORY	SHR.	SHOWER		
LT.	LIGHT	SHT.	SHEET		
LT. WT.	LIGHT WEIGHT	SIM.	SIMILAR		
M.C.J.	MASONRY CONTROL JOINT	SPEC	SPECIFICATION		
M.O.	MASONRY OPENING	ST.	STONE		
MAINT.	MAINTAINANCE	STC.	SOUND TRANSMISSION COEFFICIENT		
MANUF.	MANUFACTURE	STD.	STANDARD		
MAT.	MATERIAL	STIFF.	STIFFENER		
MAX.	MAXIMUM	STL.	STEEL		
MECH.	MECHANICAL	STR.	STRUCTURAL		
MFR.	MANUFACTURE	SUPER.	SUPERVISION		
MIN.	MINIMUM	SUSP.	SUSPENDED		
MISC.	MISCELLANEOUS	T.O.	TOP OF		
MTL.	METAL	T.O.A.	TOP OF ASPHALT		

## GRAPHIC SYMBOLS

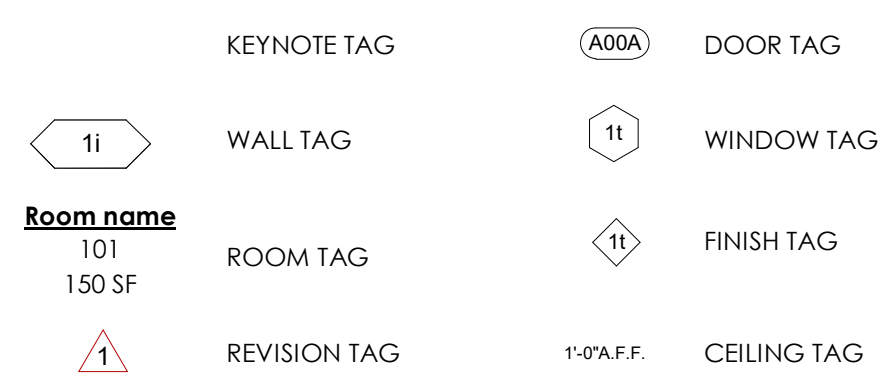
### GENERAL MARKERS



### LINE MARKERS



### TAGGING MARKERS



## CODE CRITERIA

### SSL CITY HALL CODE ANALYSIS 2018 INTERNATIONAL BUILDING CODE

DEFERRED SUBMITTALS:  
1. FIRE PROTECTION DESIGN  
2. FIRE ALARM DESIGN

APPLICABLE CODES:  
2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL FIRE CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2018 INTERNATIONAL PLUMBING CODE  
2020 NATIONAL ELECTRICAL CODE

## SHEET LIST

SHEET NUMBER		SHEET NAME
GENERAL	G000	COVER SHEET
	G001	GENERAL INFORMATION
	G002	ADA REQUIREMENTS
ARCHITECTURAL	A101	PLANS
	A103	DETAILS



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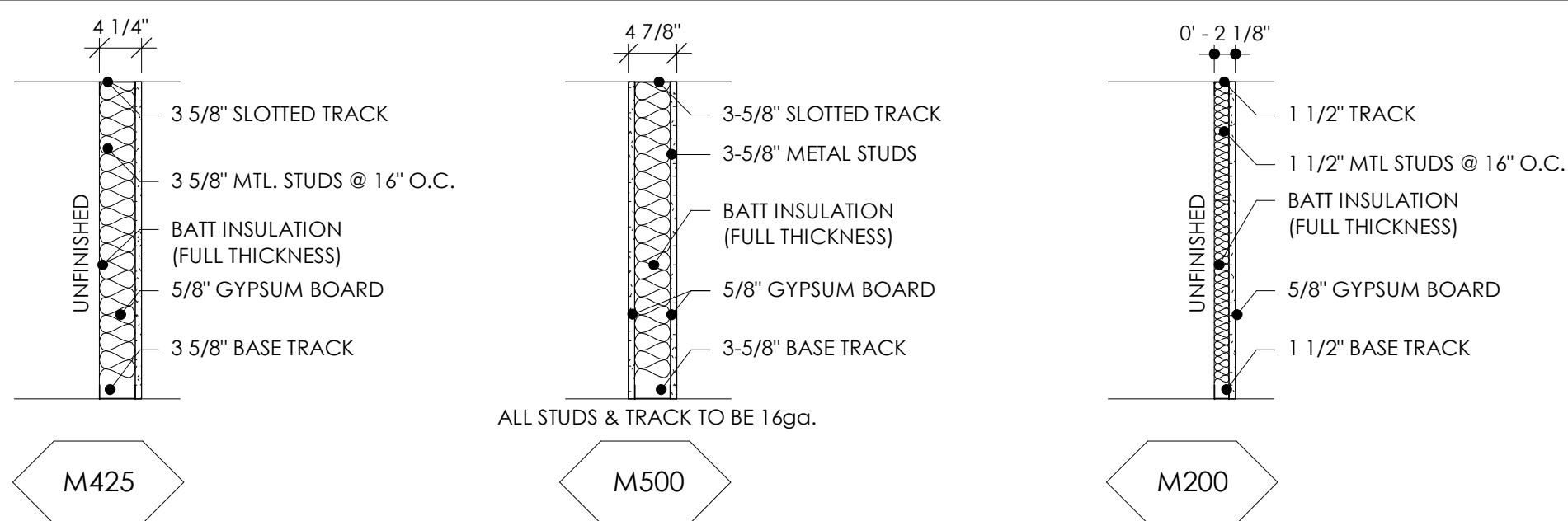
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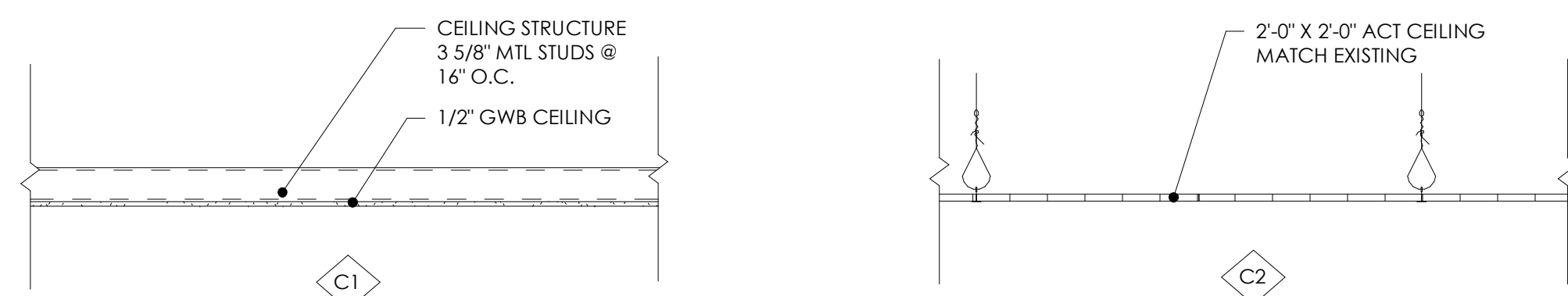
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## VERTICAL PARTITION TYPES (WALLS)

WALL TYPE CALLOUTS CORRESPOND TO FINISHED WIDTH OF WALL TO NEAREST .25" - ROUND UP.



## HORIZONTAL PARTITION TYPES (ROOFS, CEILINGS, FLOORS)



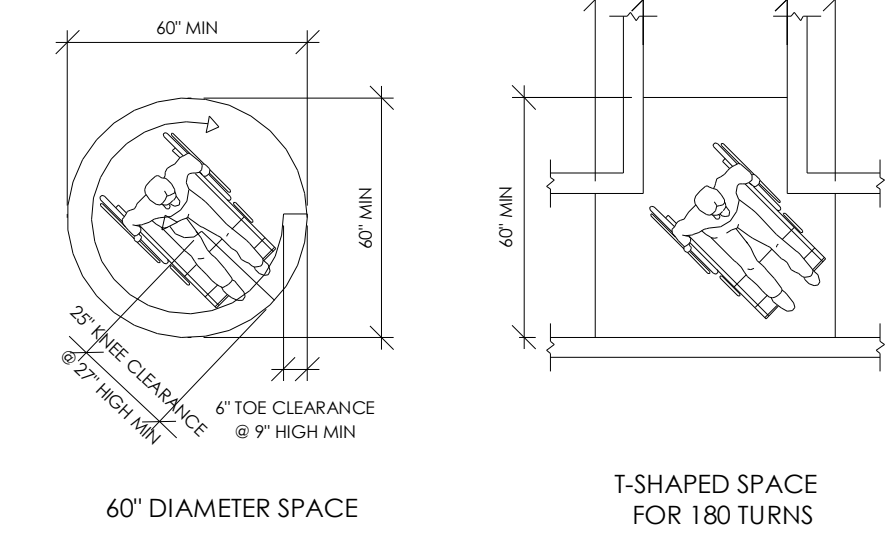
### GENERAL INFORMATION

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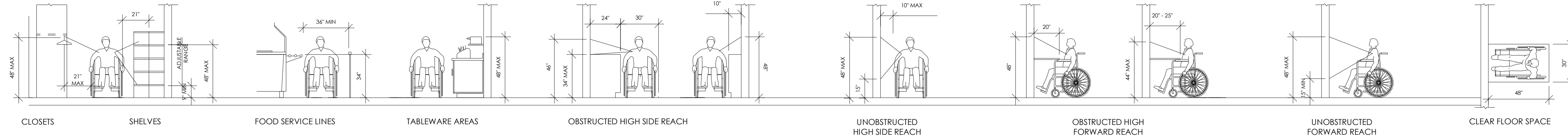
# G001

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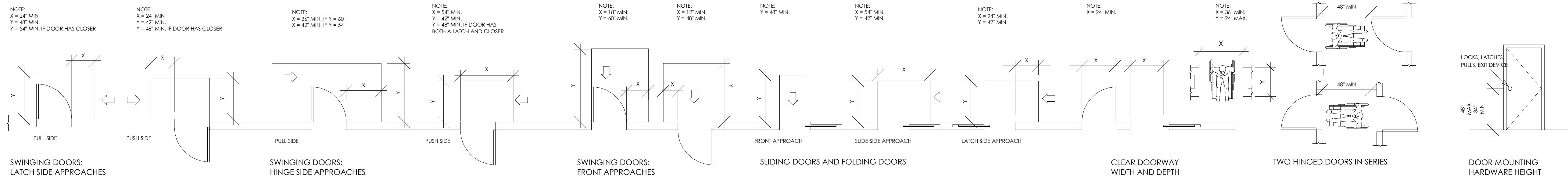
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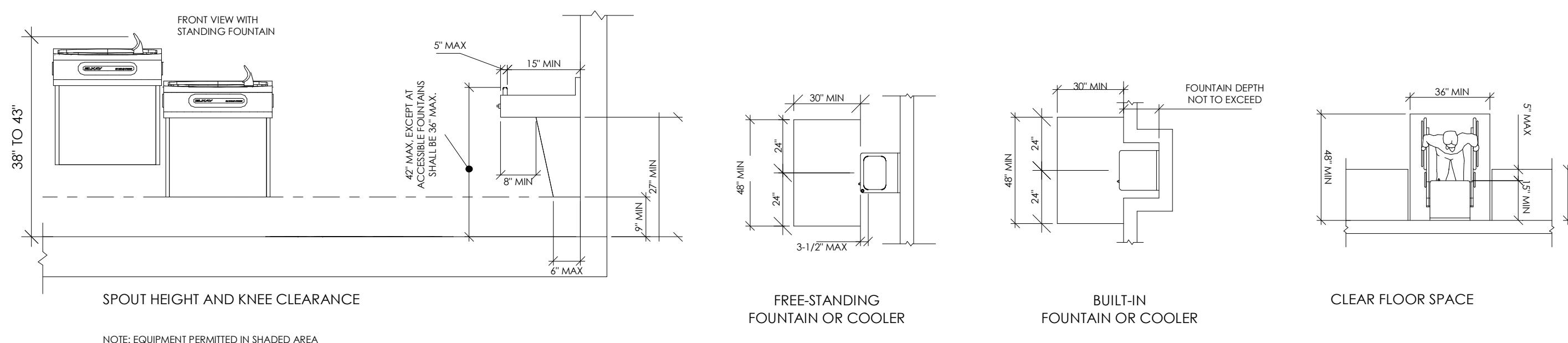
304. WHEELCHAIR TURNING SPACE



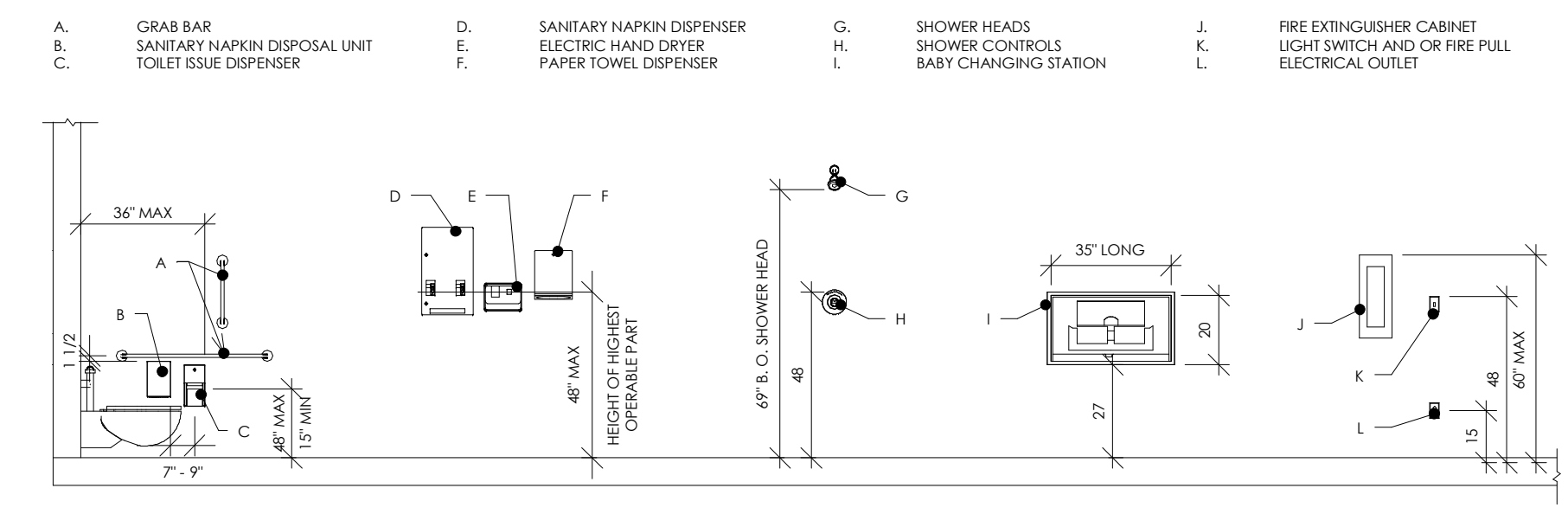
308. REACH RANGES



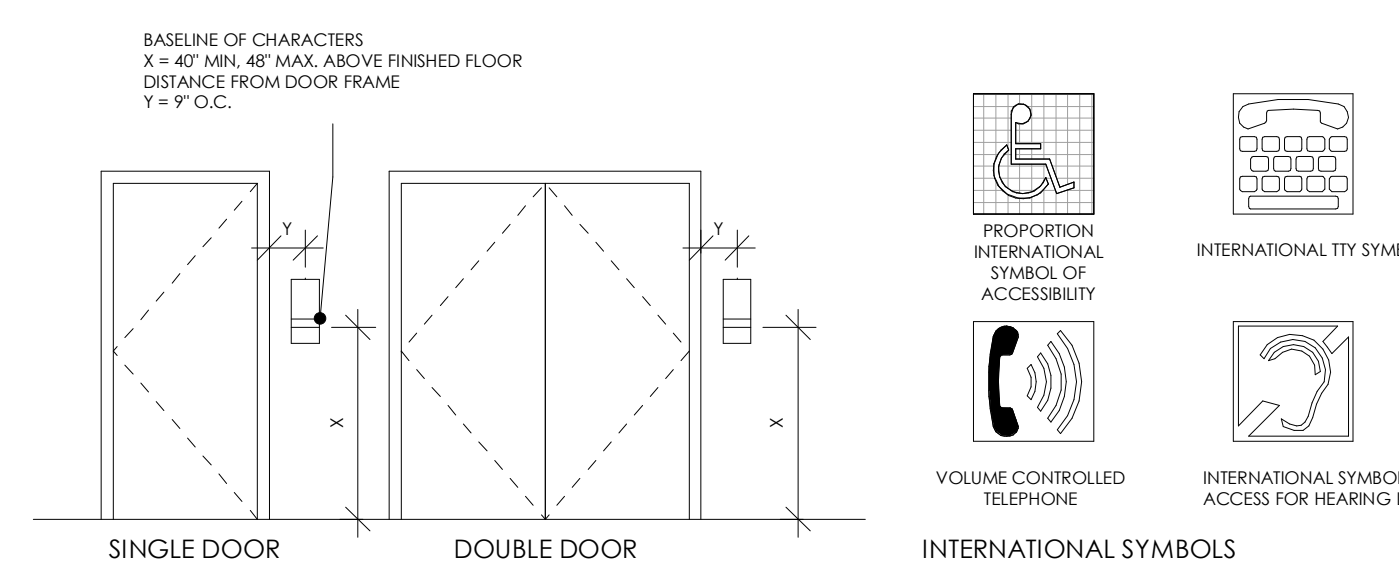
404. DOORS AND DOORWAYS



602. DRINKING FOUNTAINS



604.7 ACCESSORIES AND EQUIPMENT



703. SIGNS - TACTILE AND VISUAL

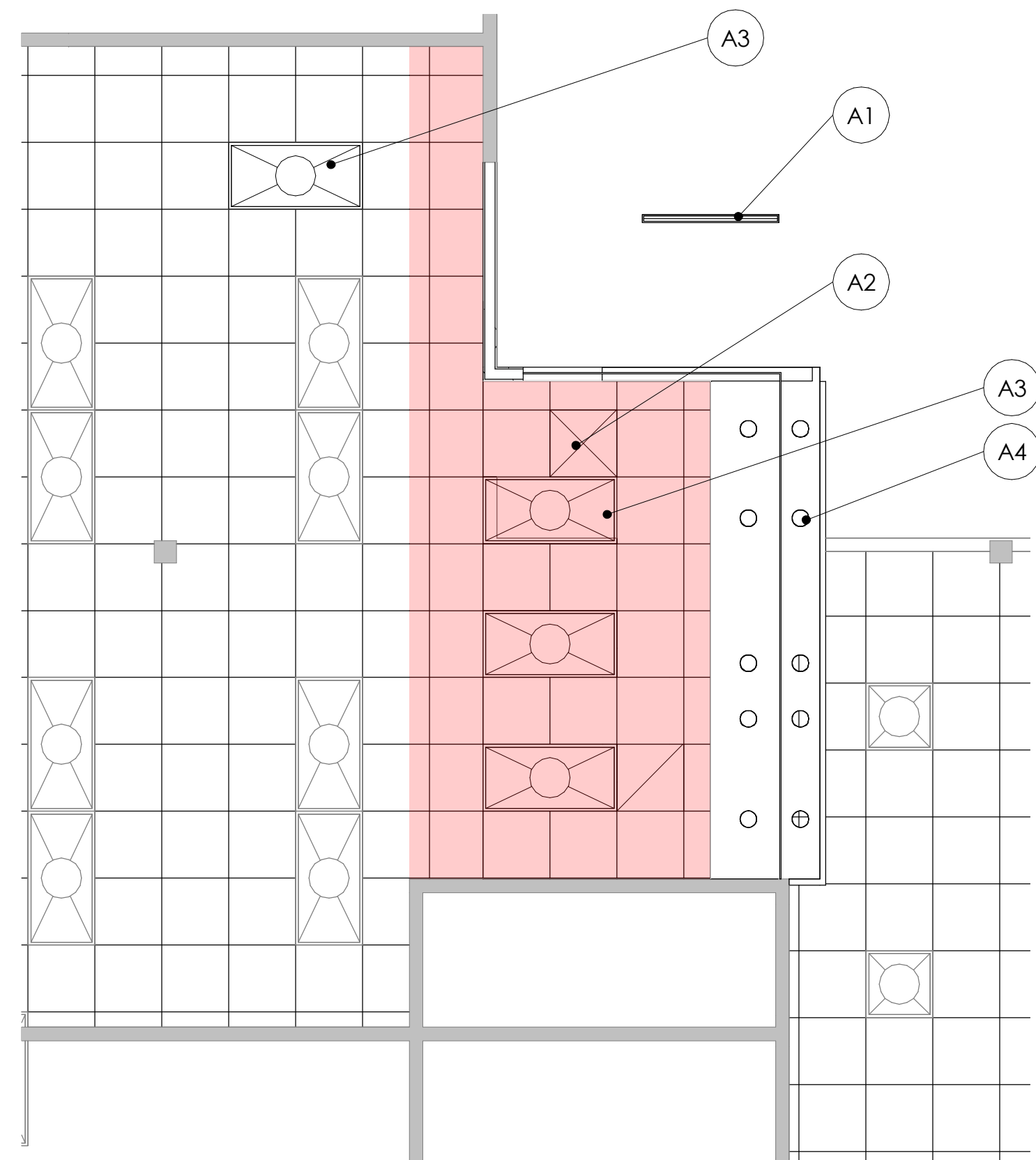


**ADA REQUIREMENTS**

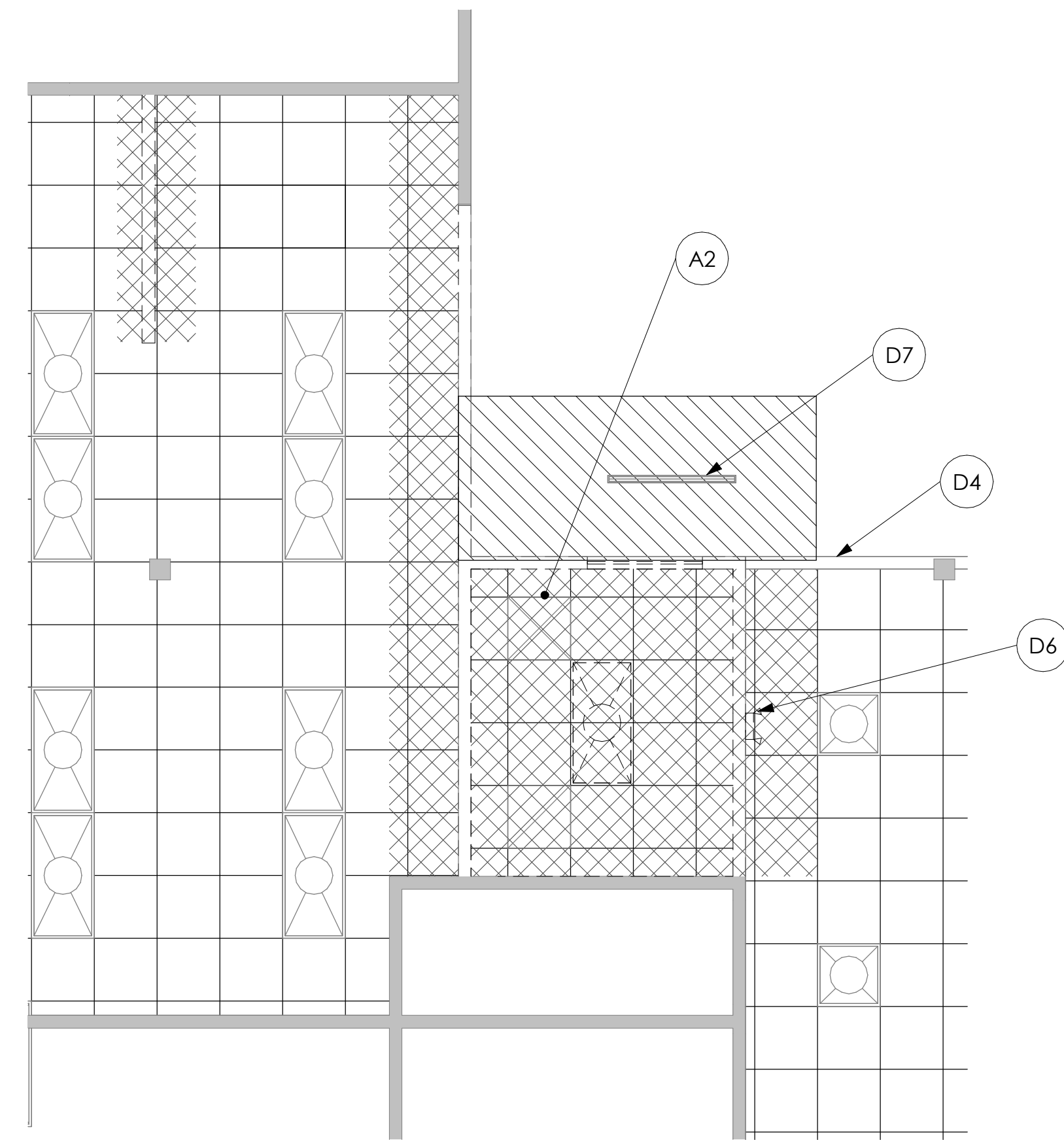
SCALE: 1/4" = 1'-0"

**G002**

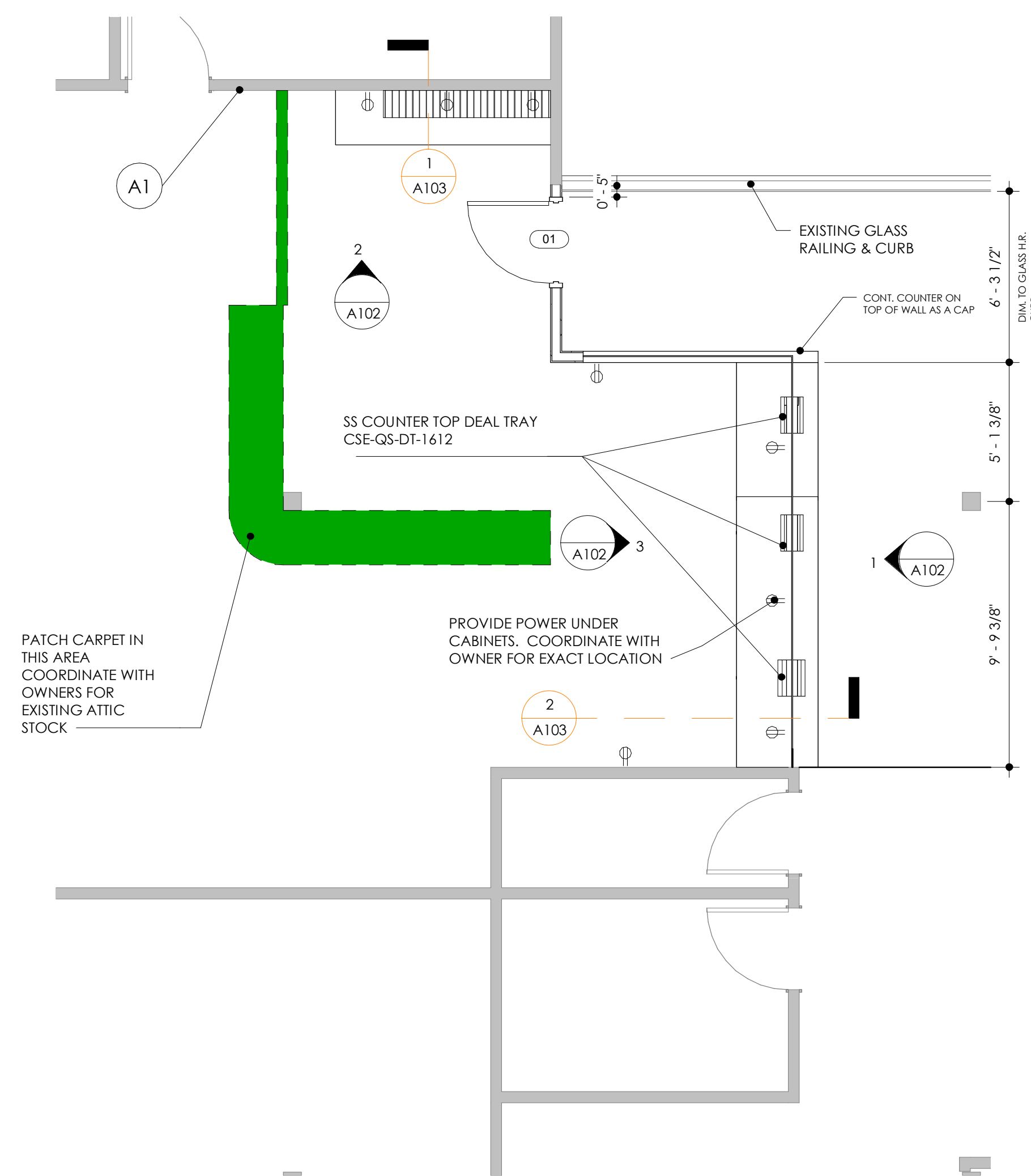
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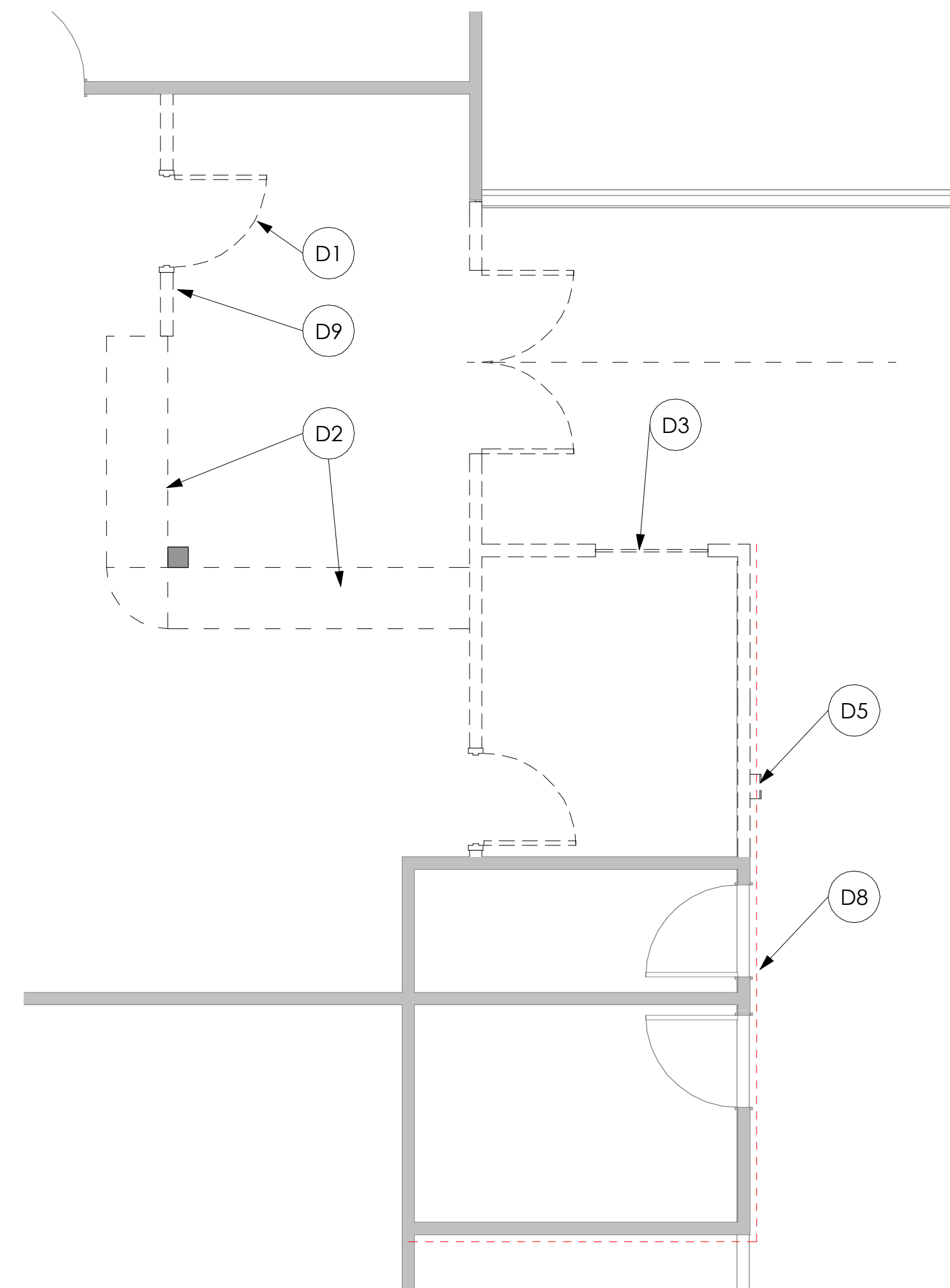
3 REFLECTED CEILING PLAN  
1/4" = 1'-0"



4 REFLECTED CEILING DEMOLITION PLAN  
1/4" = 1'-0"



2 2ND LEVEL FLOOR PLAN  
1/4" = 1'-0"



1 DEMOLITION PLAN  
1/4" = 1'-0"

ALL MODIFICATIONS TO FIRE SUPPRESSION SYSTEM AND FIRE ALARM SYSTEM TO BE DONE AS DESIGN/BUILD

## GENERAL NOTES

### DEMOLITION

- ALL DIMENSIONS ARE TO GRID. CENTERLINE, FACE OF FOUNDATION WALL (U.N.O.), FACE OF STUD FRAMING (U.N.O.).
- ALL GYP. BOARD WALLS AND CEILINGS ARE TO BE PAINTED U.N.O. - SEE FINISH SCHEDULE.
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER UNLESS NOTED OTHERWISE.
- VERIFY ON-SITE HANDRAILS AND INSTALL AT APPROPRIATE LOCATIONS.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0"
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- MAXIMUM HEIGHT OF OUTLETS ON COUNTERTOPS TO BE 44". OTHER OUTLETS MUST BE A MINIMUM OF 15" OFF FLOOR TO A MAXIMUM OF 48"
- PROVIDE GRAB BAR BLOCKING AT ALL GRAB BAR LOCATIONS.
- PROTECT ALL (E) TO REMAIN FLOORING AND WALLS THROUGHOUT CONSTRUCTION.
- OWNER WILL OCCUPY THE SPACE DURING CONSTRUCTION. COORDINATE SHUTDOWNS, NOISE, ETC. WITH OWNER.

## KEYNOTES

### DEMOLITION

NOTE: NOT ALL KEYNOTES WILL BE USED

- D1 REMOVE AND STORE EXISTING DOOR, FRAME & HARDWARE. REUSE FOR DOOR #01. REPAINT DOOR FRAME AND RESTAIN DOOR. MATCH EXISTING FINISHES
- D2 REMOVE AND DISPOSE OF EXISTING MILLWORK
- D3 REMOVE AND DISPOSE OF EXISTING WINDOW AND FRAME
- D4 (E) DRYWALL HEADER
- D5 RELOCATE (E) FIRE EXTINGUISHER. COORDINATE WITH FIRE MARSHALL FOR NEW LOCATION
- D6 REMOVE EXISTING EMERGENCY LIGHT - COORDINATE WITH BUILDING OFFICIAL FOR NEW LOCATION
- D7 EXISTING SLOT DIFFUSER - REUSE AND MOVE TO NEW LOCATION
- D8 REMOVE ALL WALL COVERING INDICATED BY RED LINE. PREP WALL FOR PAINT. PAINT TO MATCH ADJACENT COLOR.
- D9 REMOVE AND RELOCATE ELECTRIC STRIKE AND SENSOR TO DOOR 001

## KEYNOTES

### NEW WORK

NOTE: NOT ALL KEYNOTES WILL BE USED

- A1 EXISTING SLOT DIFFUSER - RELOCATE AS NEEDED
- A2 REUSE EXISTING SUPPLY AND RETURN GRILLS
- A3 A3 - NEW 2X4 LIGHTS - MODEL LITHONIA CONTRACTOR SELECT STACK SWITCH. CONNECT TO EXISTING LIGHTING CIRCUIT
- A4 A4 - NEW RECESSED 5" CAN LIGHT. LITHONIA CONTRACTOR SELECT 6SEMW

## LEGEND

### SITE PLAN

- NOT IN SCOPE
- EXISTING WALLS
- NEW WALLS
- DEMOLISHED BUILDING ELEMENTS
- AREA OF EXISTING GRID CEILING TO BE REMOVED
- AREA OF EXISTING GWB CEILING TO BE REMOVED
- NEW GRID CEILING MATCH AND CONNECT INTO EXISTING



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PLANS

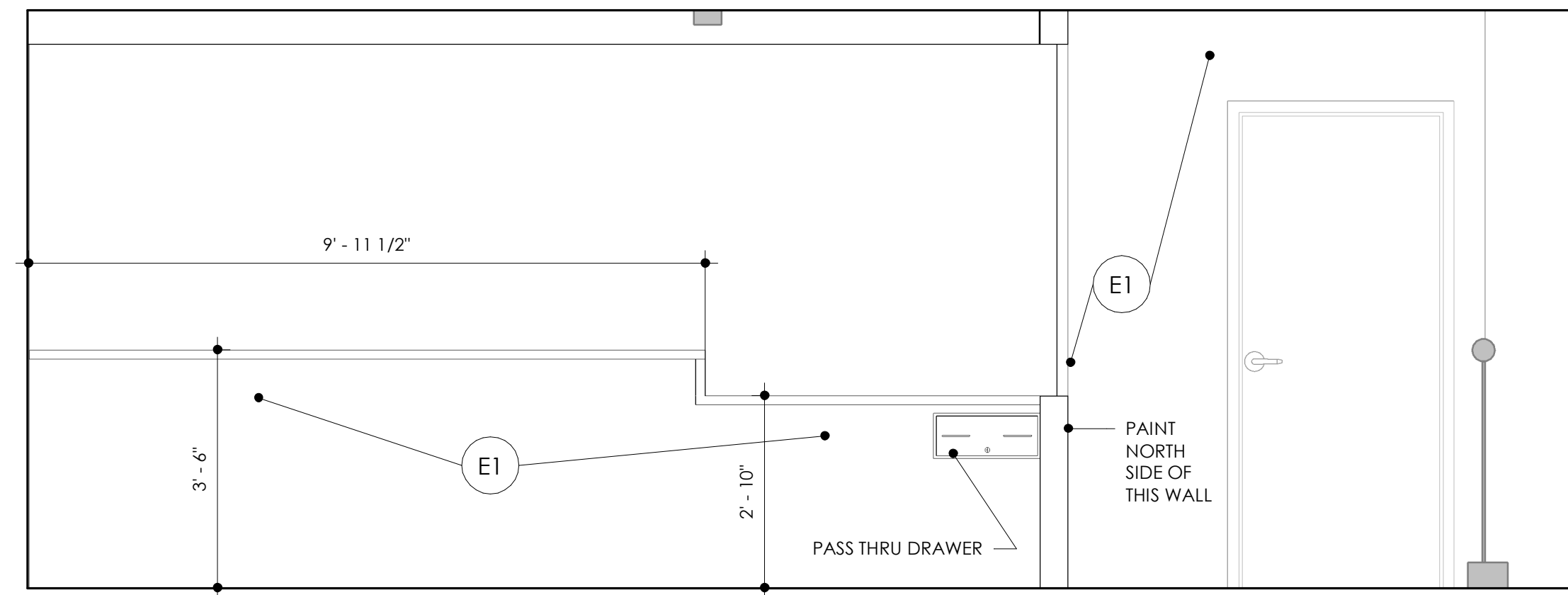
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A101

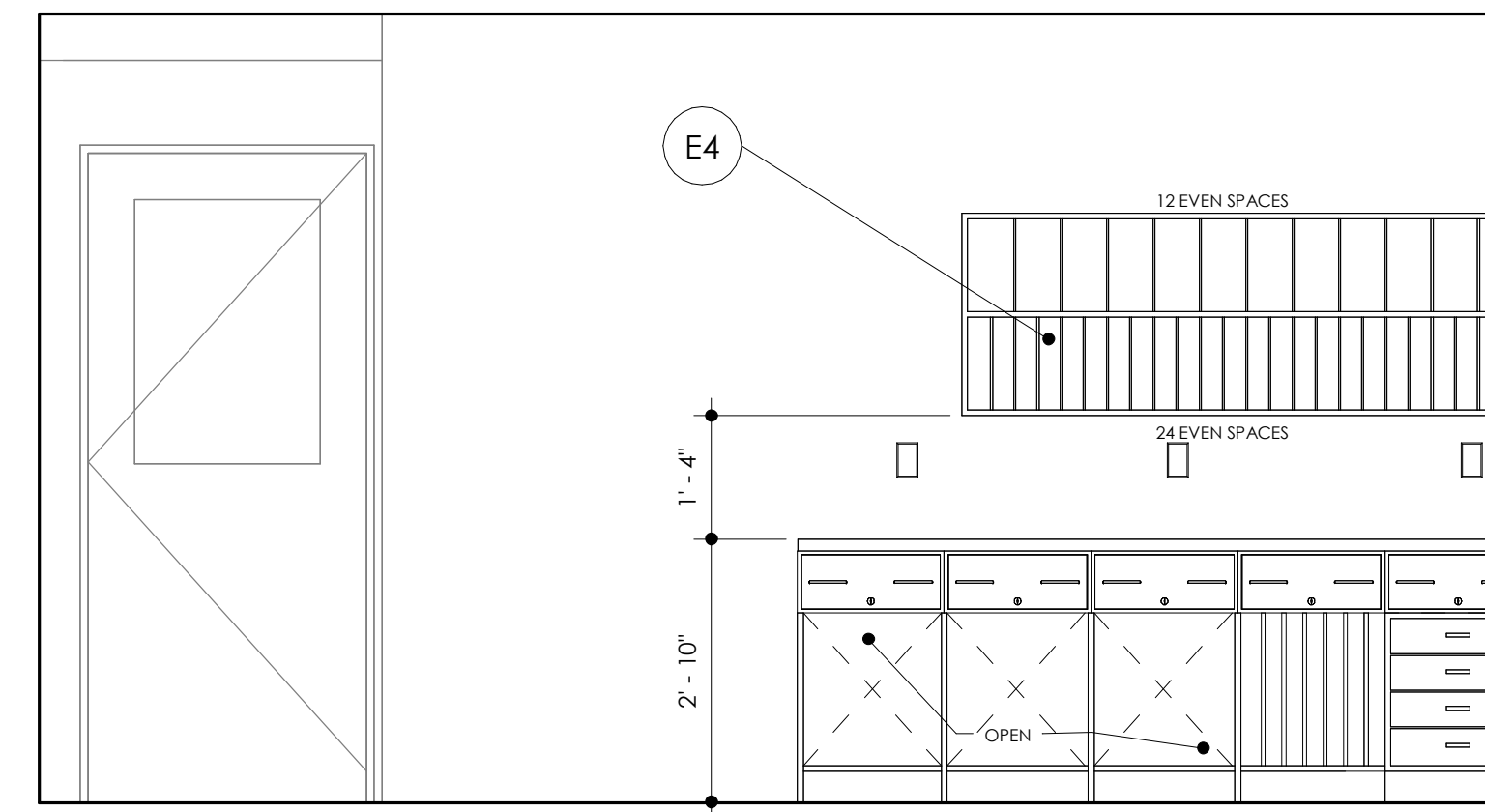
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**1** CUSTOMER SIDE OF COUNTER  
1/2" = 1'-0"



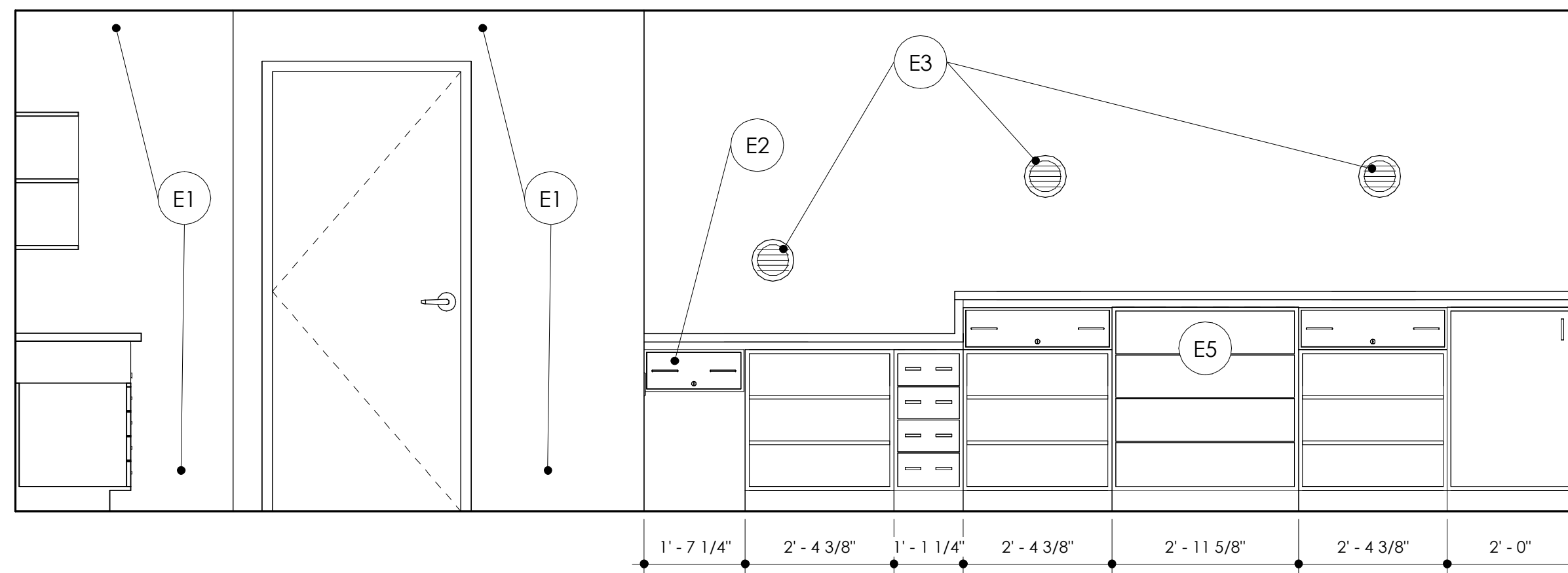
**2** MAIL CENTER  
1/2" = 1'-0"

**KEYNOTES**

INTERIOR ELEVATIONS

NOTE: NOT ALL KEYNOTES MAY BE USED

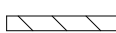

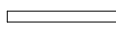
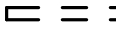
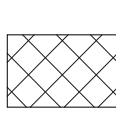
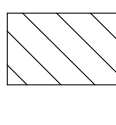

- E1 PAINT - MATCH EXISTING
- E2 E2 - CASH DRAWER ACCESSIBLE FROM BOTH SIDES OF THE COUNTER
- E3 E3 - VOICE SPEAKTHRU - MODEL #CSE-QS-NV OR APPROVED EQUAL
- E4 E4 - DIVIDERS TO BE PROVIDED BY OWNER. COORDINATE SIZES WITH OWNER.
- E5 E5 - 22" DEEP (MIN.) ROLLOUT SHELF



**3** EMPLOYEE SIDE OF COUNTER  
1/2" = 1'-0"

ALL COUNTERS TO BE - FORMICA 912-58 STORM/MATTE FINISH  
ALL CABINETS TO BE - FORMICA 9243 - 58 ZEN GRAY/MATTE FINISH  
INTERIOR OF ALL CABINETS TO BE WHITE MELAMINE

**LEGEND**

- SITE PLAN**
-  NOT IN SCOPE
  -  EXISTING WALLS
  -  NEW WALLS
  -  DEMOLISHED BUILDING ELEMENTS
  -  AREA OF EXISTING GRID CEILING TO BE REMOVED
  -  AREA OF EXISTING GWB CEILING TO BE REMOVED
  -  NEW GRID CEILING MATCH AND CONNECT INTO EXISTING

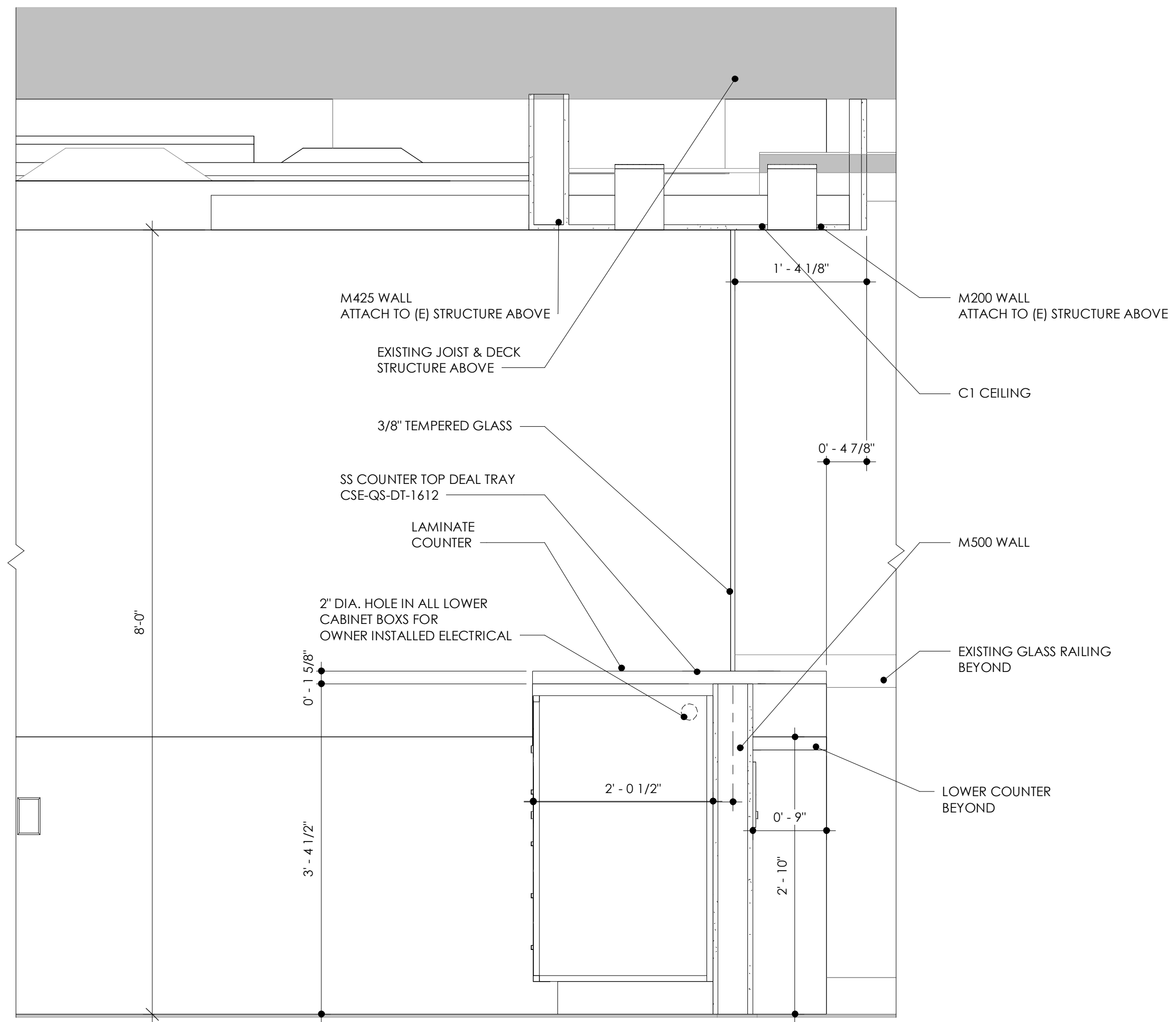
**INTERIOR ELEVATIONS**

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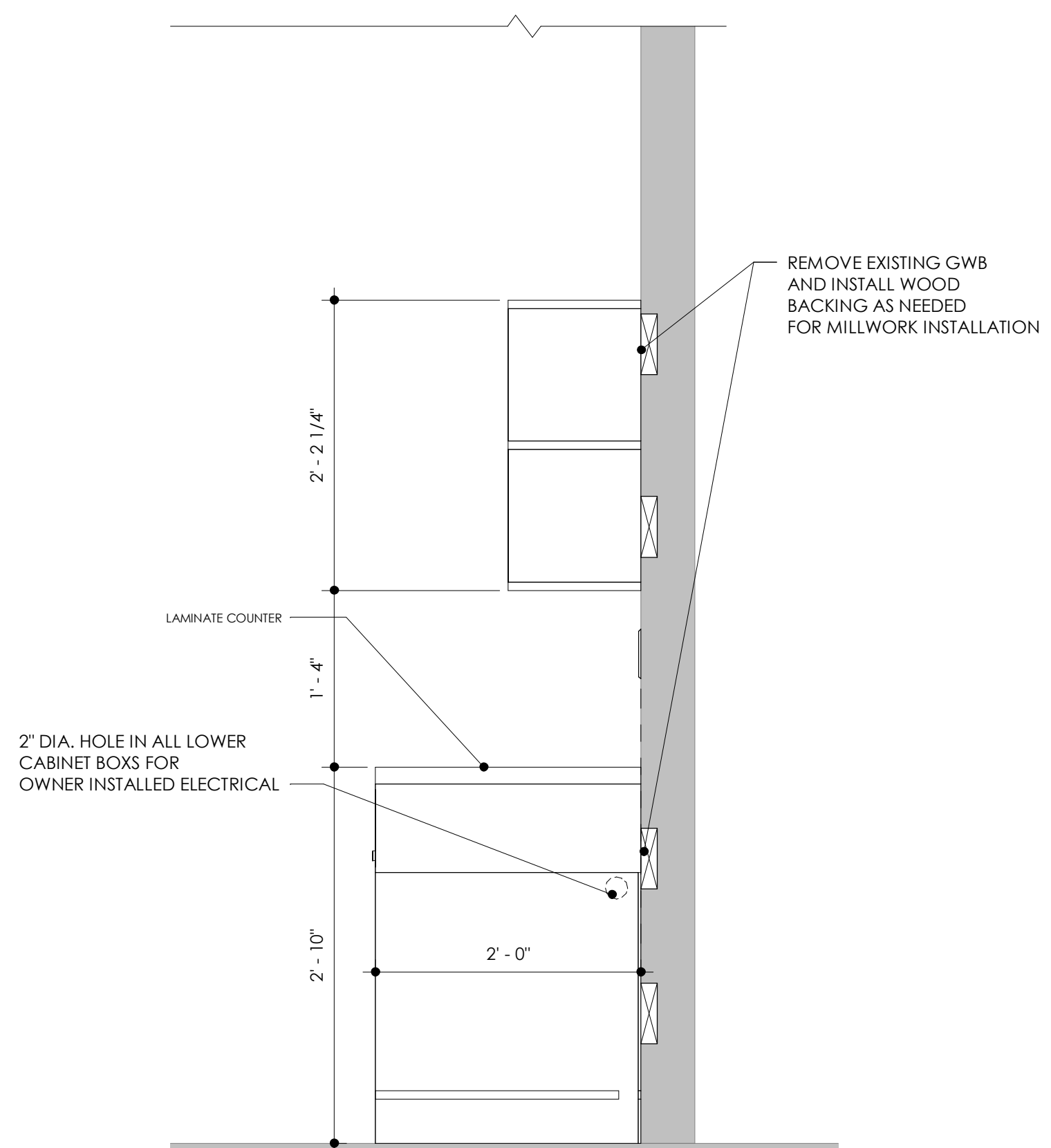
**A102**

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**2** SECTION 2  
1" = 1'-0"



**1** Detail 1  
1" = 1'-0"

**GENERAL NOTES**

**REFLECTED CEILING PLAN**

1. COORDINATE WITH MECHANICAL DOCUMENTS FOR ACCESS TO DAMPERS AND MECHANICAL EQUIPMENT. PROVIDE ACCESS AND IDENTIFICATION FOR ALL FIRE AND SMOKE DAMPERS IN COMPLIANCE WITH IBC 710.5.2.2.1.
2. COORDINATE WITH MECHANICAL DOCUMENTS FOR CORRECT LOCATION OF CEILING DIFFUSERS, AUTOMATIC FIRE SUPPRESSION SPRINKLER HEADS AND ACCESS PANELS.
3. FIRE SPRINKLER LOCATIONS ARE NOT INDICATED.
4. SEE ELECTRICAL DRAWINGS FOR FIXTURE SPECIFICATIONS AND REQUIREMENTS.
5. COORDINATE WITH ELECTRICAL DOCUMENTS FOR CORRECT LOCATION OF CCTV, SMOKE DETECTORS, FIRE ALARMS, EXIT SIGNS AND LIGHTS AND SECURITY SYSTEMS.
6. PROVIDE GYPSUM BOARD CONTROL AND EXPANSION JOINTS IN CEILINGS AND SOFFITS PER STANDARD CONSTRUCTION PRACTICES AND PER GYPSUM MANUFACTURER'S WRITTEN RECOMMENDATIONS.
7. CEILING PLAN DIMENSIONS ARE TO FACE OF GYPSUM WALL BOARD, TYPICAL.
8. CEILING HEIGHTS ARE MEASURED FROM TOP OF PLYWOOD OR SLAB.
9. LAY IN A COUSTIC TILE CEILING SYSTEM SEISMIC BRACING REQUIREMENTS SEE DETAIL 9/????.
10. ALL CEILINGS SHALL COMPLY WITH IBC REQUIREMENTS FOR LAY IN CEILINGS IN SEISMIC CATEGORY B.
11. ALL GYPSUM BOARD CEILINGS SHALL BE PAINTED - SEE FINISH SCHEDULE



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**DETAILS**

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